



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

# **Cleveland City Planning Commission**

January 17, 2025

---

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Lillian Kuri, Commission Chair  
Marka Fields, Interim Director



# Cleveland City Planning Commission

## P R E A M B L E

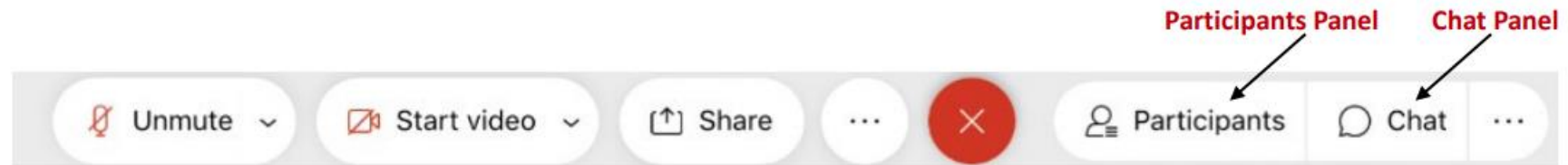
In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the codified ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

All boards and commissions under the purview of the city planning department conducts its meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.

## CALL-IN USERS CAN UNMUTE BY USING \*6



Jan 17, 2025

# Cleveland City Planning Commission

## P R E A M B L E

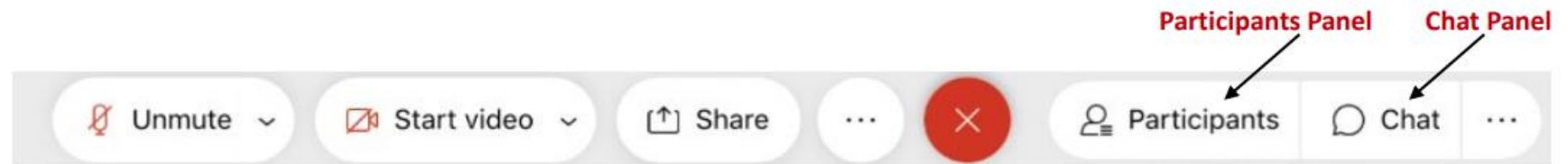
All meeting activity is being recorded via the Webex platform. these proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration. Any comments received by the **Wednesday 12:00 pm** deadline are collected by city planning staff and Disseminated to the commission members prior to any scheduled meeting.

### Proper channels for public comment:

- Sending an e-mail to the [cityplanning@clevelandohio.gov](mailto:cityplanning@clevelandohio.gov) address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



Jan 17, 2025

# Cleveland City Planning Commission

---

## Meeting Rules and Procedures

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.
- Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting through Dropbox. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.



**Lillian Kuri, Chair**

Jan 17, 2025

**August Fluker, Vice Chair**

**Charles Slife, Council Member**

**Dr. Denise McCray-Scott**

**Erika Anthony**

**Andrew Sargeant**

---

# Cleveland City Planning Commission

## Call to Order and Roll Call

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

# Cleveland City Planning Commission

## Approval of Minutes from Previous Meeting

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

# Cleveland City Planning Commission

## Downtown/Flats Design Review

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

# Downtown/Flats Design Review

---

***DF2023-040 – 1300 Carnegie Demolition***

Jan 17, 2025

**Project Address: 1300 Carnegie Avenue**

**Type: Demolition**

**Project Representative: James Ptacek, Larsen Architects**

**Approval Level: Final**

---

**Ward 5- Councilmember Starr**

**SPA: Downtown**





SOUTHEAST CORNER OF LOT - LOOKING NORTHWEST



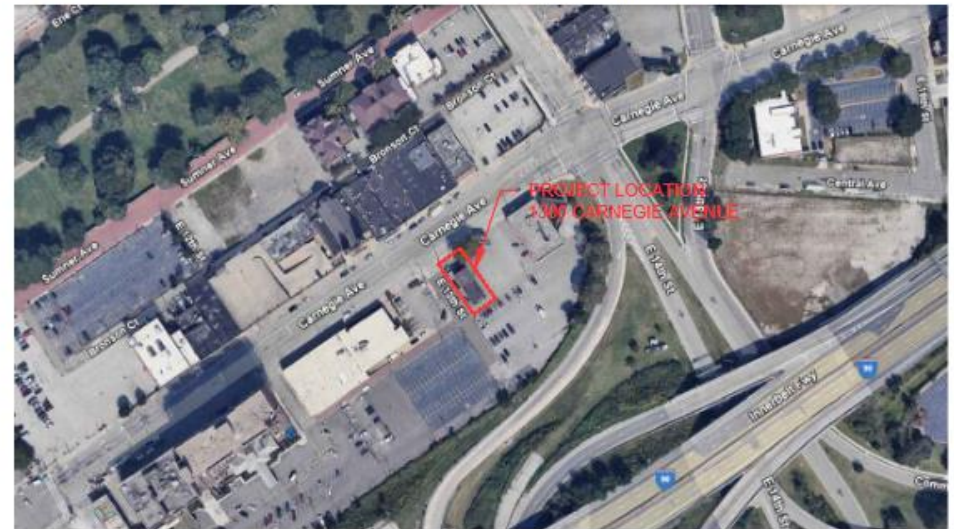
NORTHEAST CORNER OF LOT - LOOKING SOUTHWEST



SOUTHWEST CORNER OF LOT - LOOKING NORTHEAST



CORNER OF CARNEGIE AVENUE & EAST 13TH STREET - LOOKING SOUTHEAST



1300 CARNEGIE AVENUE  
**LOCATION PLAN**  
 SCALE: NOT TO SCALE

Project North

<b>LARSEN ARCHITECTS</b> 12815 DETROIT AVENUE   T. 216.221.2360 F. 216.221.5670 LAKEWOOD, OHIO 44107   WWW.LARSENARCHITECTS.COM	<b>1300 CARNEGIE AVENUE</b> PROPOSED SITE MODIFICATION	
	Job Number: 24088 Issue: R6 Date: 1/9/2025	<b>SK-0</b>





INTERIOR- ROOF STRUCTURE AND DECK CONDITION



INTERIOR- WATER DAMAGE AND MOLD



INTERIOR- ROOF STRUCTURE AND DECK CONDITION



EXTERIOR- ROOF PENETRATIONS AND GRAFITTI

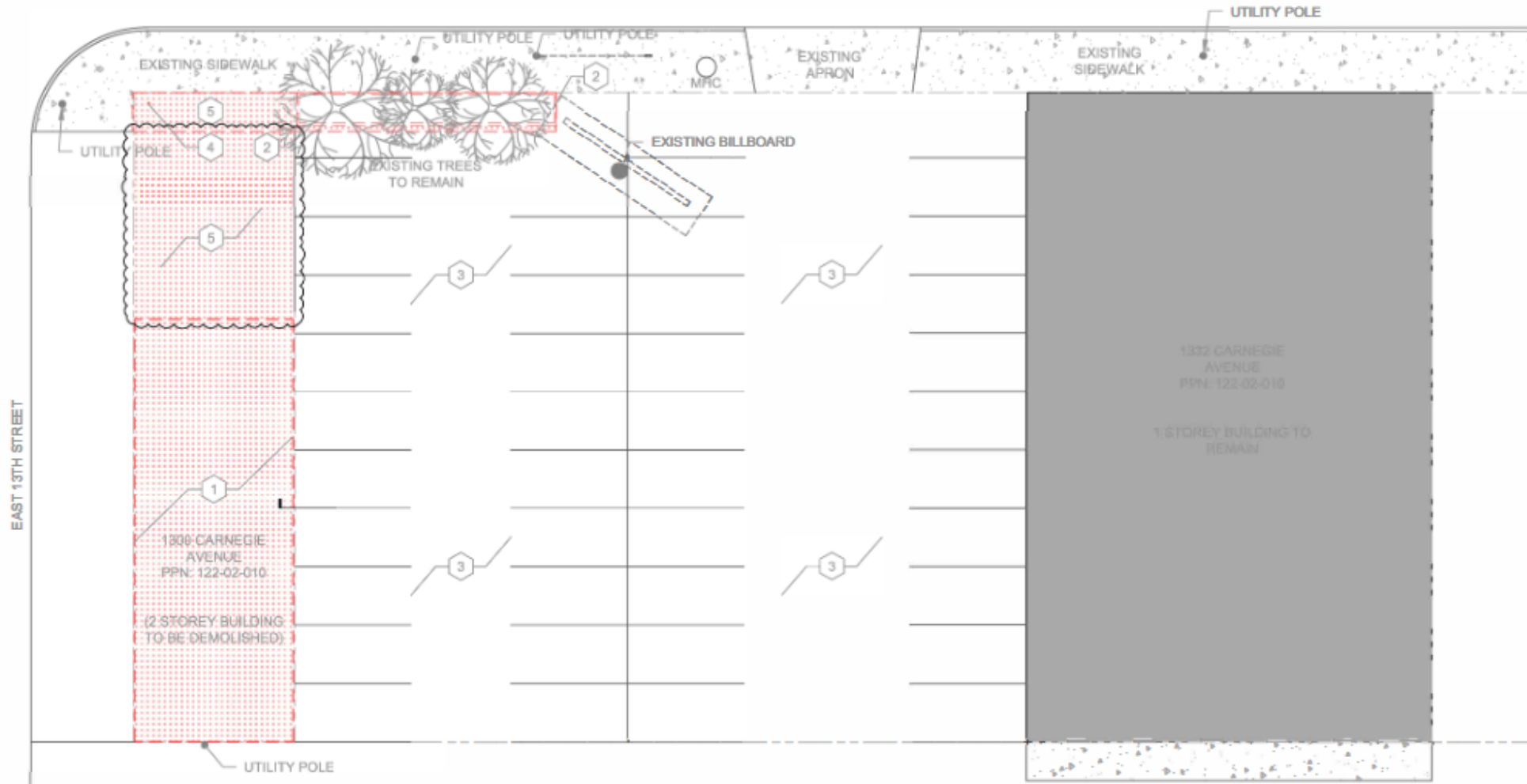


EXTERIOR- ROOF PENETRATIONS



EXTERIOR- ROOF PENETRATIONS

 <b>LARSEN ARCHITECTS</b>	<b>1300 CARNEGIE AVENUE</b> PROPOSED SITE MODIFICATION	
	12815 DETROIT AVENUE   T. 216.221.2350 F. 216.221.5670 LAKEWOOD, OHIO 44107   WWW.LARSENARCHITECTS.COM	Job Number: 24088 Issue: R8 Date: 1/9/2025



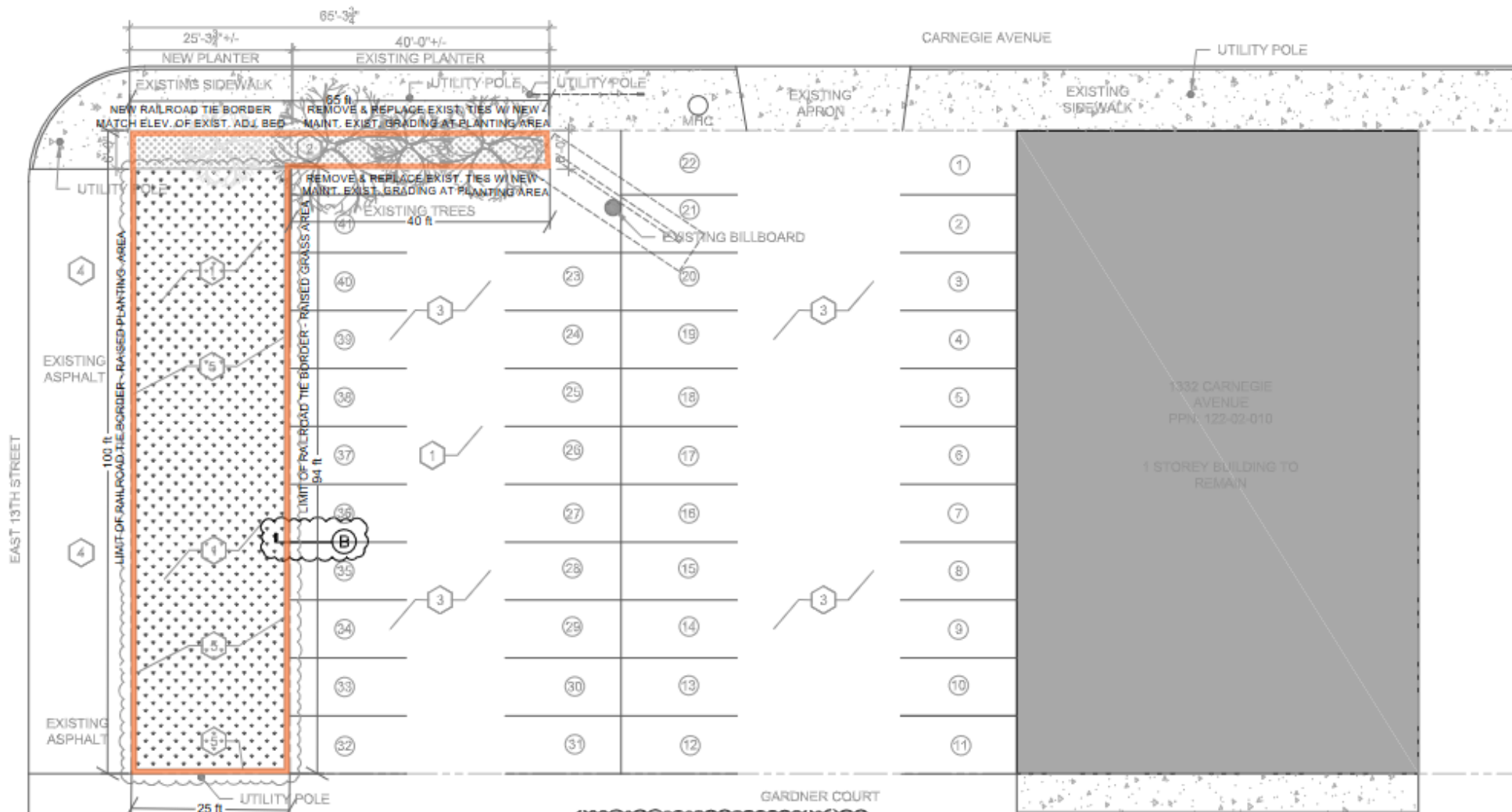
### DEMOLITION KEY NOTES

- 1 DEMOLISH EXISTING MASONRY BUILDING - DISCARD ALL COMPONENTS LEGALLY.
- 2 PREPARE LANDSCAPE FOR EXPANSION. REMOVE EXIST. RR TIES - PREP AREA FOR REPLACEMENT & EXTENSION. SEE SK-4.
- 3 EXISTING STRIPING TO REMAIN.
- 4 REMOVE EXISTING PARKING SIGN - RETAIN FOR OWNER.
- 5 REMOVE EXISTING PAVEMENT. SEE SK-5 FOR EXTENTS

**A** 1300 CARNEGIE AVENUE  
**DEMOLITION SITE PLAN OPTION B**  
 SCALE: 1/16" = 1'-0"

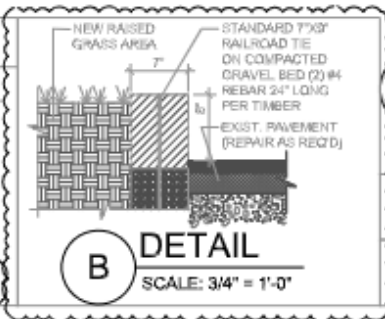


<b>LARSEN ARCHITECTS</b> 12815 DETROIT AVENUE   T. 216.221.2350 F. 216.221.5670 LAKEWOOD, OHIO 44107   WWW.LARSENARCHITECTS.COM	<b>1300 CARNEGIE AVENUE</b> <b>PROPOSED SITE MODIFICATION</b>	
	Job Number: 24088 Issue: R6 Date: 1/9/2025	<b>SK-4</b>



**SITE PLAN KEY NOTES**

- 1 INFILL AND RE-GRADE LOCATION OF DEMOLISHED BUILDING. PROVIDE NEW GRASS
- 2 REMOVE PAVEMENT TO SIDEWALK FOR NEW PLANTER. PROVIDE SOIL AND MULCH AS REQUIRED. PLANTING AS SELECTED BY OWNER.
- 3 EXISTING PARKING LOT TO REMAIN.
- 4 EXISTING PAVEMENT TO REMAIN.
- 5 OWNER TO PROVIDE 8" RAILROAD TIES BORDERING GRASS TO PREVENT PARKING



**A** 1300 CARNEGIE AVENUE  
**PROPOSED SITE PLAN OPTION B**  
SCALE: 1/16" = 1'-0"



**LARSEN ARCHITECTS**  
2915 DETROIT AVENUE | T. 216.221.2350 F. 216.221.5670  
LAKEWOOD, OHIO 44107 | WWW.LARSENARCHITECTS.COM

1300 CARNEGIE AVENUE  
PROPOSED SITE MODIFICATION  
Job Number: 24088  
Issue: RB  
Date: 1/09/2025  
**SK-5**



# Cleveland City Planning Commission

## Staff Report

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025



CITY OF CLEVELAND  
Mayor Justin M. Bibb

## Downtown/Flats Design Review District

Design Review Advisory Committee

### Meeting Motion and Report Form

Meeting Location: City Hall Room 514, 601 Lakeside Avenue

Case Number: DF 2023-040

Meeting Date: 09/7/2023

Project Name: Demo 1300

Project Address: 1300 Carnegie

Contact Person: Firdeo Satka

Architect/Contractor: \_\_\_\_\_

General Description: demolition

#### Motion by Design Review Committee:

#### Approved with Conditions

**Approve:** Yablonsky, Bialosky, Bogart, Brown, Geist, Pesarchick, Schwartzberg, Soltis, Zarfoss

**Disapprove:**

**Abstain:**

**Non-Voting Members:** Joyce Pan Huang, Marka Fields

Approve with conditions that the applicant work with staff on the leave behind



City of Cleveland

Justin Bibb, Mayor

City Planning Commission



Joyce Pan Huang, Director

Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: (216) 664-2210 F: (216) 664-3281 | www.planning.city.cleveland.oh.us

## Motion Form

**Date:** 9/15/2023

**Design Review District:** Downtown | Flats

**Project:** Proposed Demolition of a 2-Story Industrial Building: Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

**Project Location:** 1300 Carnegie Avenue

**Rationale:** Uncomfortable being in the position of rewarding [neglect of the building over a long period of time].

**Action:** Motion for Disapproval and request that the property owner work with staff [before returning to the Commission].

**ANTHONY** NP

**FLUKER:** Y

**KURI:** NP

**MCCRAY-SCOTT:** Y

**SARGEANT:** 2

**SLIFE:** 1

*"1" indicates that the member made the motion and voted to approve; "2" indicates that the member seconded the motion and voted to approve; "Y" indicates a yes vote; "N" indicates a no vote; "A" indicates abstention; "NP" indicates that member was not present; "R" indicates that member recused themselves*

**Motion APPROVED: X**                      **Therefore item is Disapproved.**

APPROVED SUBJECT TO STATED AMENDMENT:

POSTPONED:

FAILED TO PASS:





## Downtown/Flats Design Review – City Planning Commission

### Staff Report

Friday Jan 17, 2025 | Cleveland City Hall, Virtual Webex | Begins: 9:00 AM

#### New Construction – Seeking Conceptual Approval

**Project:** DF 2023-040 – 1300 Carnegie Demolition \*C  
Demolition  
**Address:** 1300 Carnegie  
**Representative:** Jim “JP” Ptacek, Larsen Architects, Inc

#### Staff Recommendation:

- Greater vertical separation and/or use of physical or visual barriers, ie: fence, bollards, ornamental walls, piers, post & rope railing, plantings, planters, gabion walls, boulders, double-height rail road ties, etc.
- Consider visual appeal and functionality – picnic tables & trees for neighboring employee use

#### Overview & Background:

- Applicant no longer seeking surface parking, submission is for protected greenspace
- Application history:
  - Originally submitted as a demolition with no plans for reuse
  - D/F DR approved with conditions to work with Staff on leave behind
  - Applicant then indicated a desire to pave the lot
  - Codified Ordinances prohibit new or expanded surface lots in designated downtown areas, and the proposal did not meet those requirements
  - CPC disapproved with recommendations to work with Staff:  
Discussion centered on not wanting to reward demolition by neglect

Staff has been adamant about two things:

1. Complying with code requirements - noting any other non-surface parking use is allowable, and renovation / new development is preferred
2. Separating this parcel from the surrounding parking lots, to prevent de facto parking usage

#### Additional Considerations:

- Setting the right precedent for the District (vibrancy, walkability, infill development, wrapped parking decks)
- Of key importance is to protect from the pressures of surrounding the Gateway Complex with surface parking lots – Note the series’ of important structures demolished for surface lots in the area to-date

(d) *Prohibition.* Notwithstanding other provisions of the Zoning Code, no surface parking lot shall be established or expanded within the designated districts except as approved by the City Planning Commission in accordance with this section.

(e) *Planning Commission Determination.* The City Planning Commission shall approve building permit applications for the establishment or expansion of surface parking lots in the designated districts only in accordance with the following provisions:

(1) *Temporary Parking Lots.* If the City Planning Commission or Landmarks Commission, as applicable, has approved demolition of a building within the designated district(s) and has approved, in accordance with the regulations of Sections 341.04 and 341.05 or Section 161.05, as applicable, plans for a new building or other non-parking use to replace such building, the subject property may be used as a surface parking lot for a maximum period of one (1) year following the demolition of the building. If all necessary redevelopment permits have not been obtained within one (1) year of the commencement of surface parking use, the property shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission.

The Commission may, however, approve a request by the owner to extend use of the parking lot for a single period not greater than one (1) year in duration if the Commission determines that the owner has made a “good faith effort” to secure the approved redevelopment. During the time period of such extension, the Commission and the owner shall undertake discussions regarding efforts to facilitate appropriate redevelopment of the property. At the conclusion of the extension period, the property either shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission or, alternatively, the owner may seek a variance from the Board of Zoning Appeals in accordance with the provisions of division (h) of this section.

(2) *Accessory Parking.* Establishment or expansion of a surface parking lot within the designated districts shall be permitted if the City Planning Commission determines that the lot will be used exclusively for accessory parking spaces to serve a new use or uses proposed for a development, expansion or redevelopment project which has been approved by the City Planning Commission or Landmarks Commission, as applicable, but which has not yet been completed. The number of parking spaces in such accessory lot shall not be greater than one hundred twenty percent (120%) of the number of spaces which would be required for such use by the City’s Zoning Code.

(3) *Action Areas.* The City Planning Commission shall approve an application for a surface parking lot if the subject property has been designated for surface parking as part of an “action area” (as defined in Section 315.03) of a community development plan adopted by Council in the manner set forth in Title V of the Codified Ordinances.

(4) *Vacant Lots.* On any vacant lot which was vacant on the initial effective date of this section, a surface parking lot shall be permitted, in accordance with all applicable City regulations.

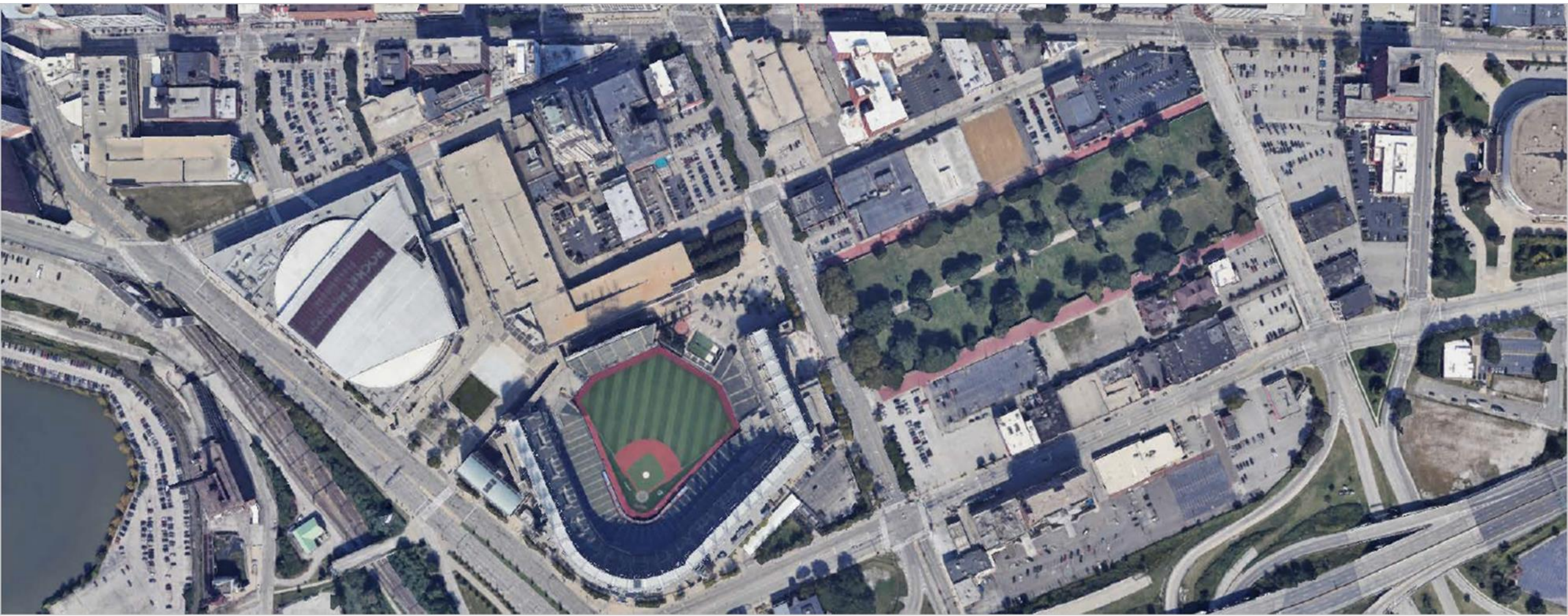
(f) *Existing Surface Lots.* Within the designated districts, surface parking lots legally established or approved prior to the initial effective date of this section shall be considered legal nonconforming uses and may be maintained, repaired and improved in accordance with otherwise applicable City regulations. No such lot shall be expanded without approval of the City Planning Commission, in accordance with the provisions of this section.

(g) *Variations for Establishment of Parking Lots.* In the case of a request for a variance to permit establishment of a surface parking lot which is prohibited by regulations of this section, the Board of Zoning Appeals shall grant such variance only if it determines that denial of the variance would deprive the owner of all reasonable economic use of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.

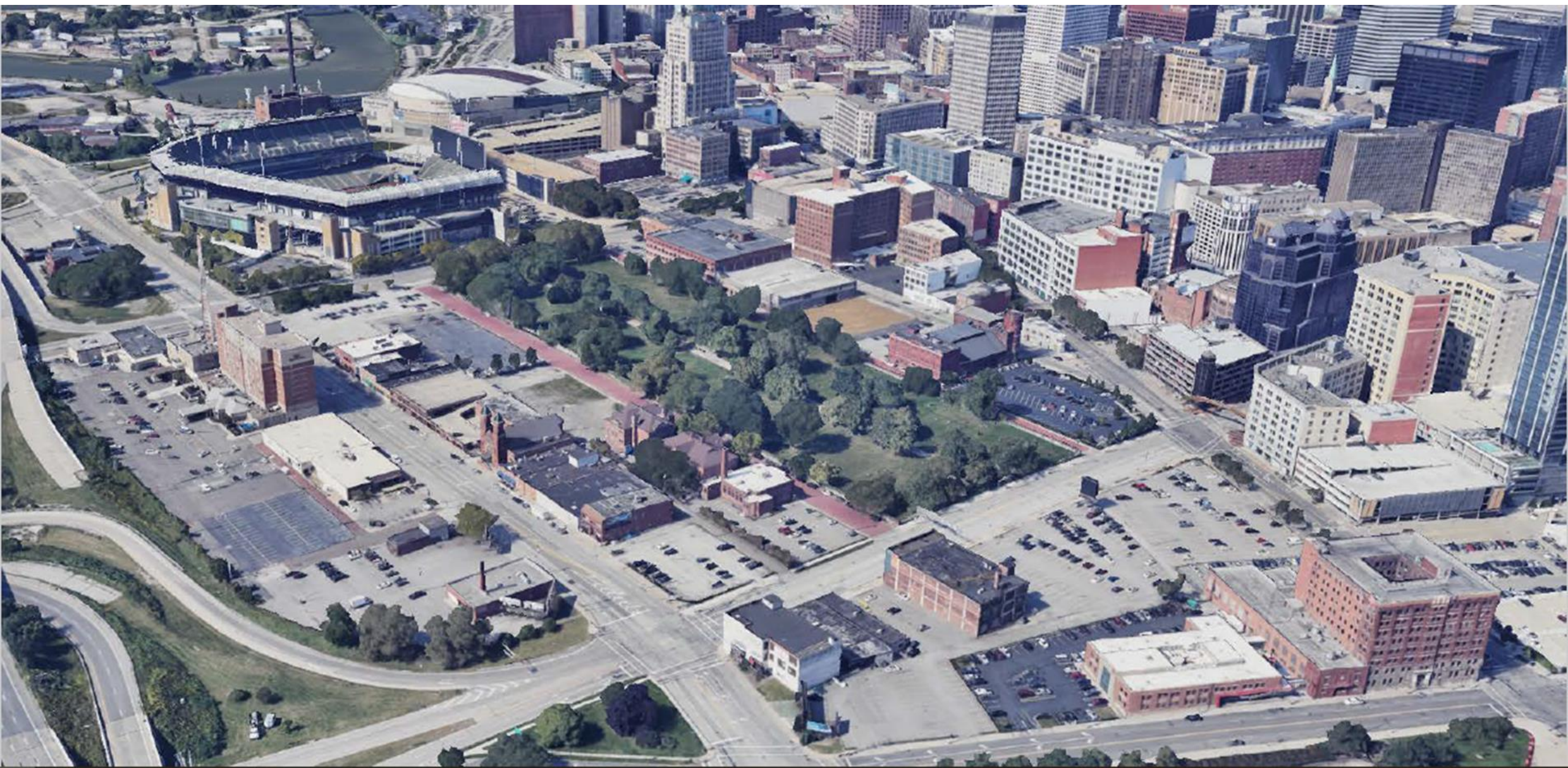
(h) *Variations for Temporary Lots.* In the case of a request for a variance to extend the use of a parking lot approved under division (e)(1) of this section, the Board of Zoning Appeals shall grant such extension only if it determines that redevelopment of the subject property has been delayed by circumstances which are beyond the control of the owner and which would be present regardless of the particular ownership of the property. In such cases, the Board shall not grant an extension for a period greater than one (1) year in duration. The property owner may return to the Board for consideration of further extensions if said circumstances persist.

(Ord. No. 1465-97. Passed 12-15-97, eff. 12-22-97)

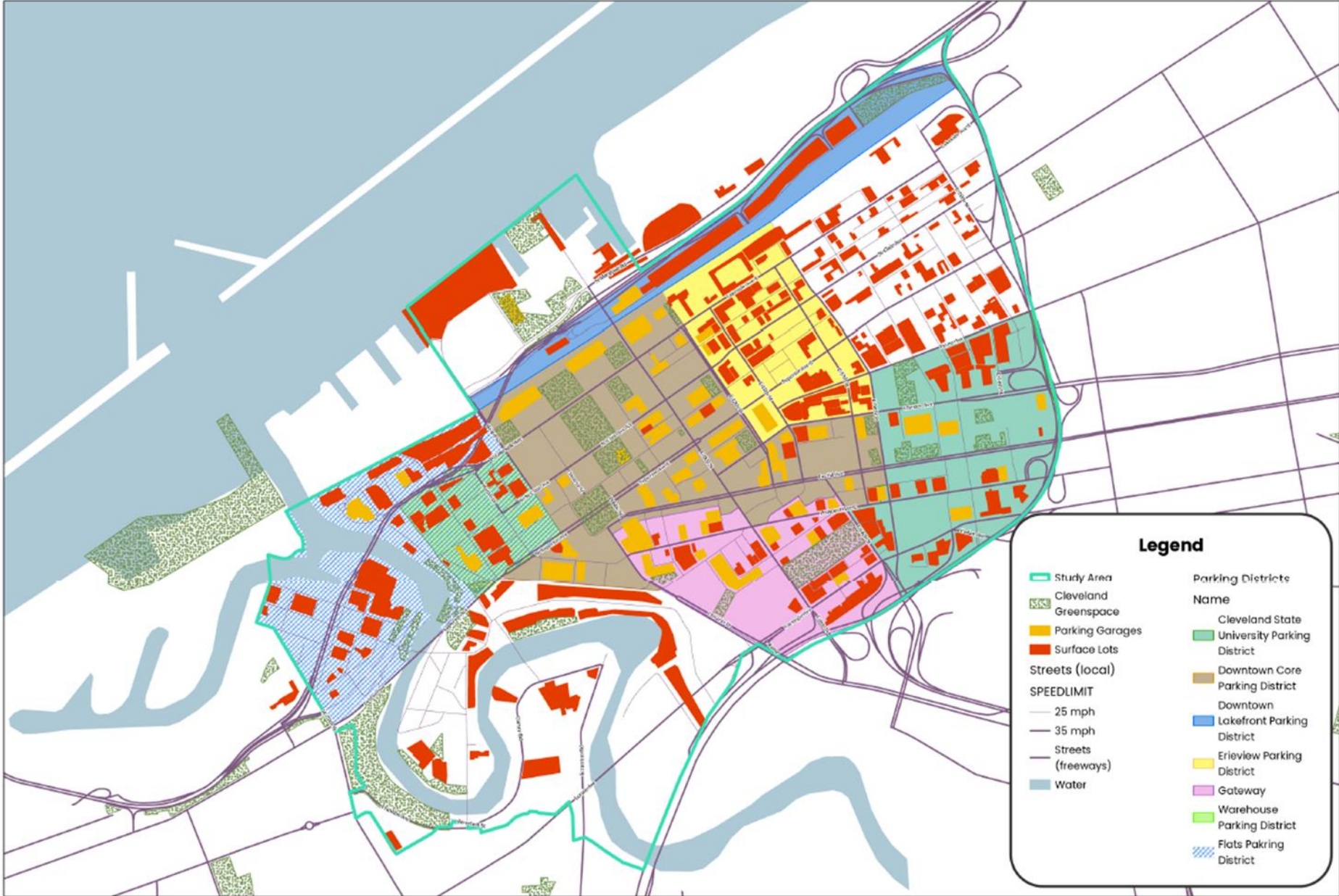












## Downtown Cleveland Parking: Lots, Garages, and Parking Districts



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb  
CITY PLANNING

# Cleveland City Planning Commission

## Lot Splits / Consolidations

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

# Lot Splits / Consolidations

---

**P.P.N.s: 00403049 & 00403050 – splitting into 3 lots**

Jan 17, 2025

**Project Addresses: 2167 W 20 St & 2175 W 20 St, Cleveland, OH, 44113**

**Project Representative: Mark Ebner**

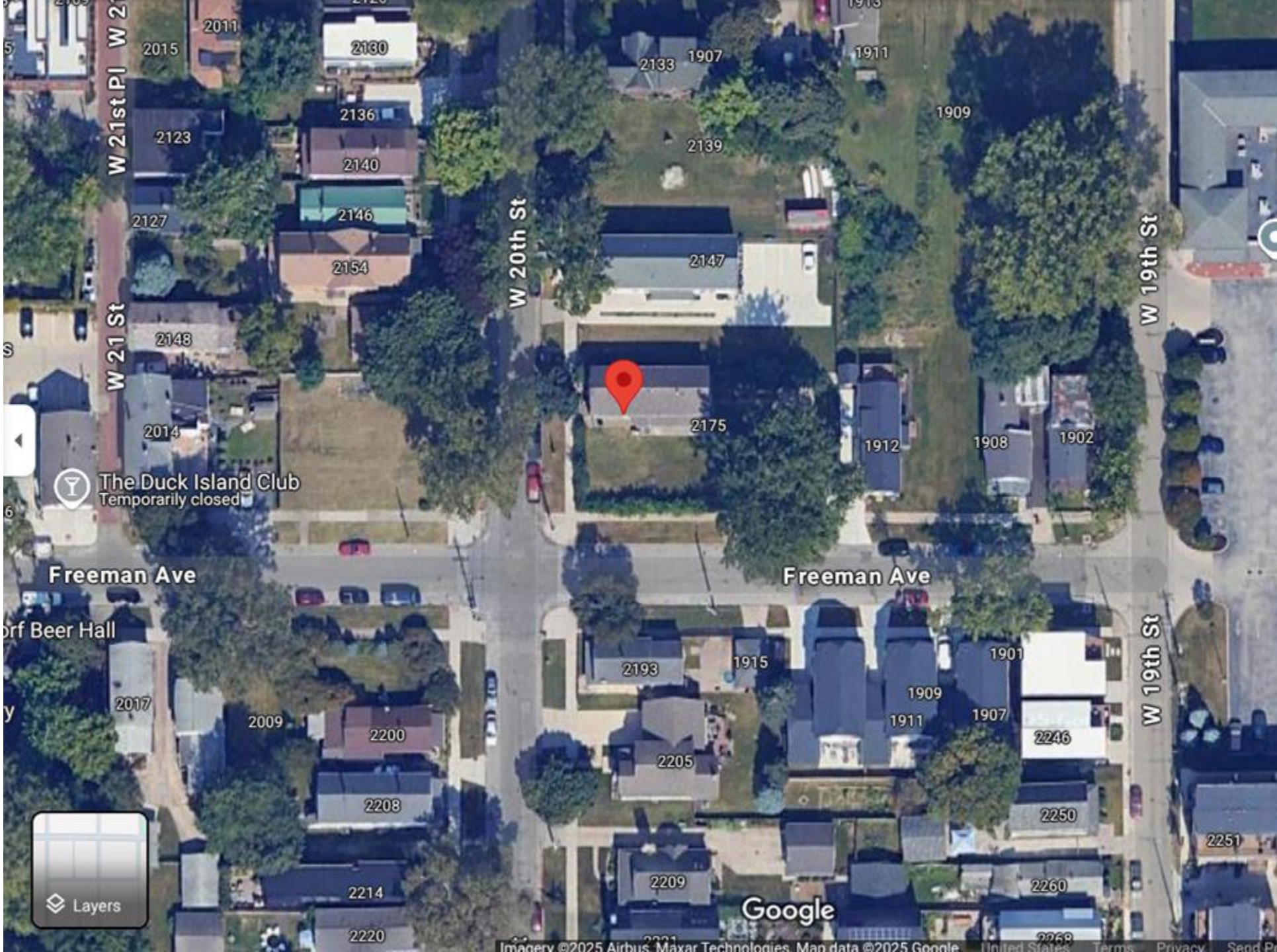
---

# Proposed Lot Split and Consolidation

NE Corner of W 20th and Freeman Ave

Presented by: Property Owner/Builder  
Mark Ebner  
440-666-2496  
mde783@gmail.com





W 21st Pl W 21st St

W 20th St

W 19th St

The Duck Island Club  
Temporarily closed

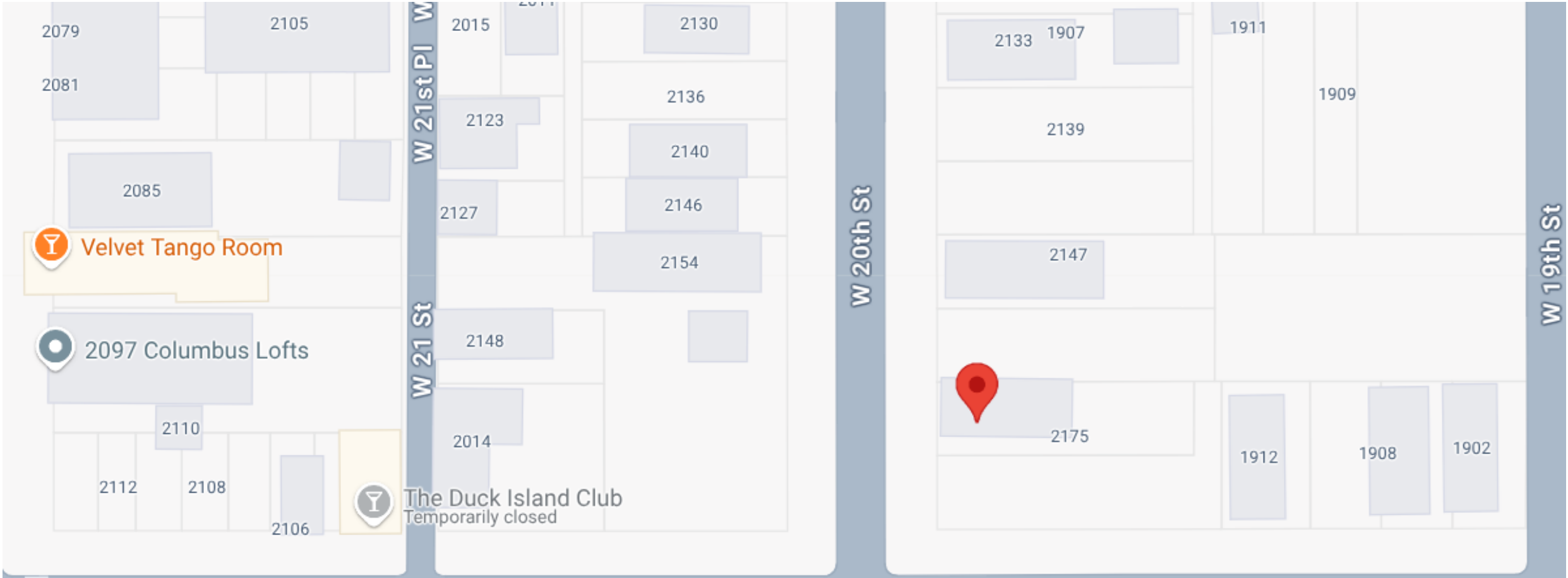
Freeman Ave

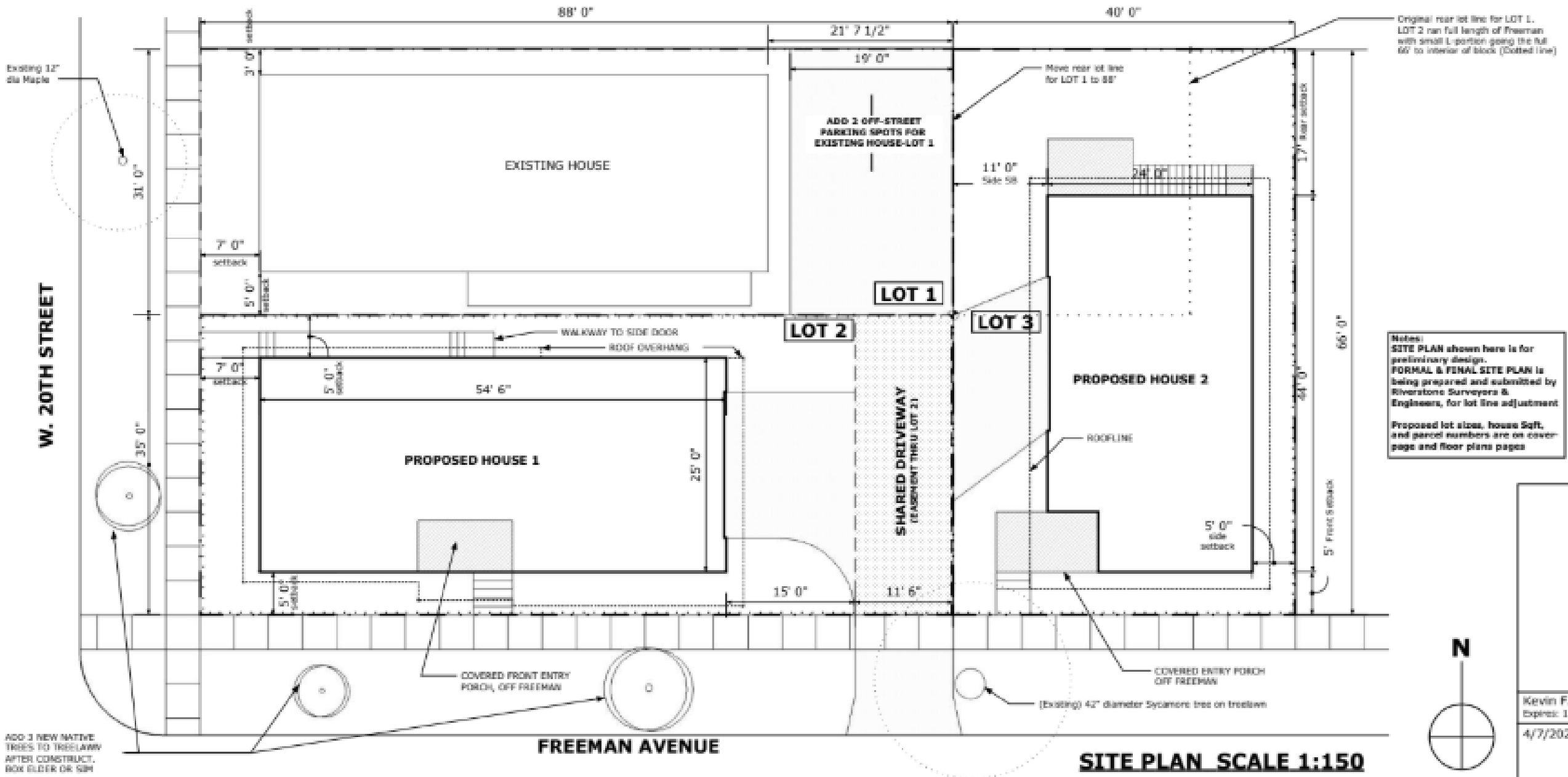
Freeman Ave

W 19th St

Google

Layers





Original rear lot line for LOT 1. LOT 2 ran full length of Freeman with small L portion going the full 66' to interior of block (Dotted line)

Notes:  
 SITE PLAN shown here is for preliminary design.  
 FORMAL & FINAL SITE PLAN is being prepared and submitted by Riverstone Surveyors & Engineers, for lot line adjustment  
 Proposed lot sizes, house Sqft, and parcel numbers are on cover page and floor plans pages

ADD 3 NEW NATIVE TREES TO TREE LINE AFTER CONSTRUCT. BOX OLDER OR SIM

Kevin F. Expires: 12/31/2024

4/7/2024

**SITE PLAN SCALE 1:150**





5/8" x 30"  
Iron Pin Set

Sublot 295

N 89°58'22" E 264.11' Calc.—Meas. 263.42' Rec.—Wiley 264.00' Deed(s) (R/W-R/W)  
N 89°58'22" E 126.76' Calc.—Meas. 126.41' Deed

Found & Used  
(Capped Riverstone)

Sublot 302  
N 89°58'22" E 88.05'

40.00'  
N 89°58'22" E

P.P.N. 004-03-049  
Mark Ebner  
Bronwyn Ebner  
05-24-2021  
APN. 202105240623  
(Parcel 1)

Parcel 1  
0.06 Acres

Parcel 3  
0.06 Acres

Preliminary for Review

31.08'  
N 00°00'00" E

N 00°13'18" W  
31.04'

N 89°58'39" E 88.17'

68.04'

11.5' Driveway Easement  
0.0092 Acres

P.P.N. 004-03-050  
Mark Ebner  
Bronwyn Ebner  
05-24-2021  
APN. 202105240623  
(Parcel 2)

Parcel 2  
0.07 Acres

Preliminary  
for Review

35.00'  
N 00°00'00" E

N 00°13'18" W  
35.00'

Preliminary for Review

N 89°58'39" E 88.31'

N 89°58'39" E  
40.00'

R/W

N 00°13'18" W 68.02' C-M 68.00' Rec.











Google Street View

Aug 2024 [See more dates](#)











New house beside  
owners, current house



**VIEW FROM W. 20TH**



**PERPSECTIVE FROM SW ALONG FREEMAN**

Shared driveway to access existing home &  
two proposed residences



**VIEW ALONG FREEMAN AVENUE**

Aug. 27<sup>th</sup>, 2024

Board of Zoning Appeals  
City Hall  
601 Lakeside Avenue, Room 516  
Cleveland, Ohio 44114-1071



RE: 2175 W 20th Street and 1916 Freeman Ave, Cleveland, OH 44113

Dear BZA Members,

I am writing on behalf of the Duck Island Block Club to indicate our support of granting variances for codes §357.07 and §357.08 (b) at 2175 W20th Street and 1916 Freeman Ave.

At our August meeting, the Block Club voted unanimously in favor of supporting the Ebners' variances. We thank you for your time and consideration.

Sincerely,

Stephanie Filar  
Chair, Duck Island Block Club

# Cleveland City Planning Commission

## Zoning Map Amendments

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025



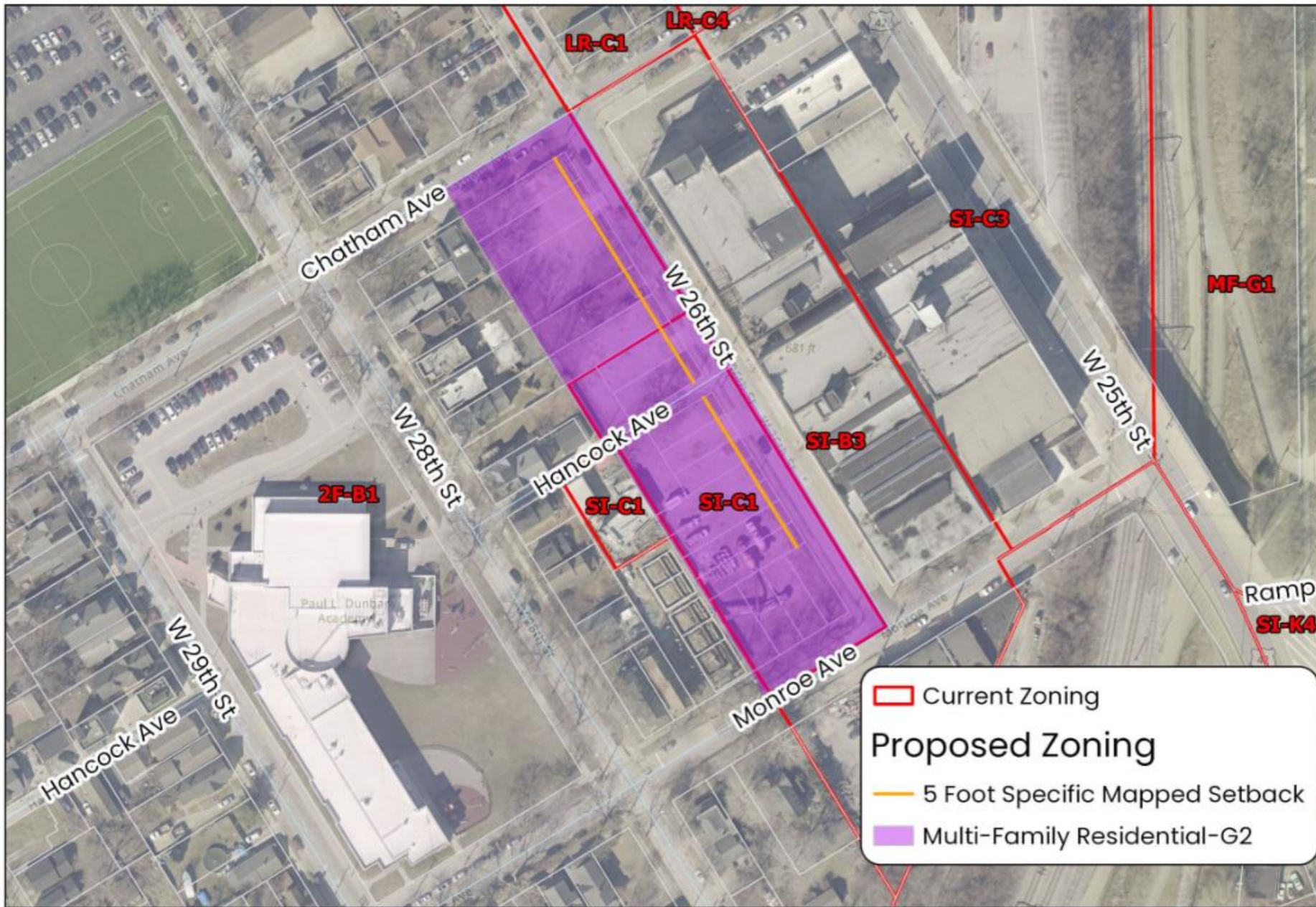
**Ordinance No. xxx-2025 (Ward 3/Councilmember McCormack):**

Jan 17, 2025

**Changing the Use, area & Height Districts of parcels of land north of  
West 26<sup>th</sup> Street between Chatham Avenue and Monroe Avenue (Map  
Change 2689)**

**Presenter: Xavier Bay, Zoning Planner**

---



## Map Change 2689

Changing the use area & height districts of parcels of land west of West 26th Street between Monroe Ave and Chatham Ave



# Cleveland City Planning Commission

## Near West Design Review

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025



# Near West Design Review

---

Jan 17, 2025

**NW2024-034 – 2915 W 14<sup>th</sup> Residential**

**Project Address: 2915 W 14<sup>th</sup> Street**

**Type: New Construction; 12-units**

**Project Representative: Gram Post; Sixmo**

**Approval: Schematic**

---

**Ward 3 – Councilmember McCormack | SPA: Tremont**

CONCEPT DESIGN

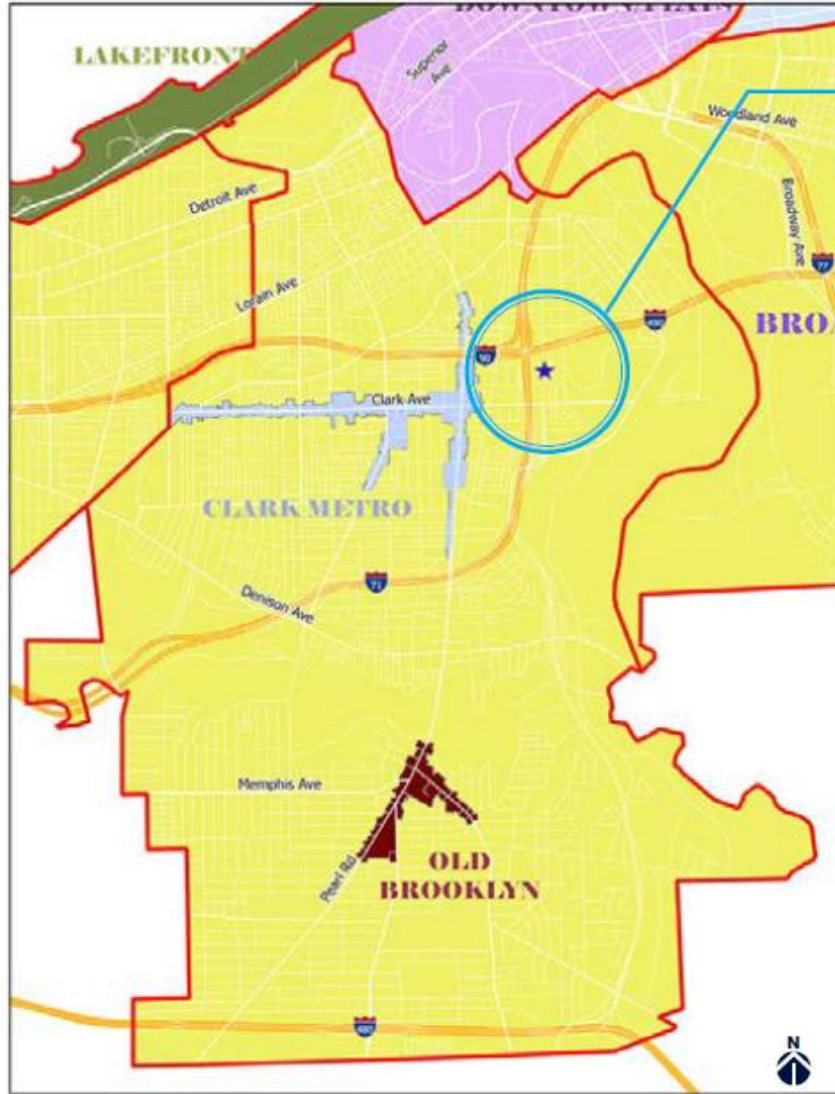
---

**2915 W 14TH RESIDENTIAL**

Cleveland, OH - January 06, 2025

job no. SA40250124





DISTRICT LEVEL

**SITE LOCATION**  
2915 W. 14th | Cleveland OH



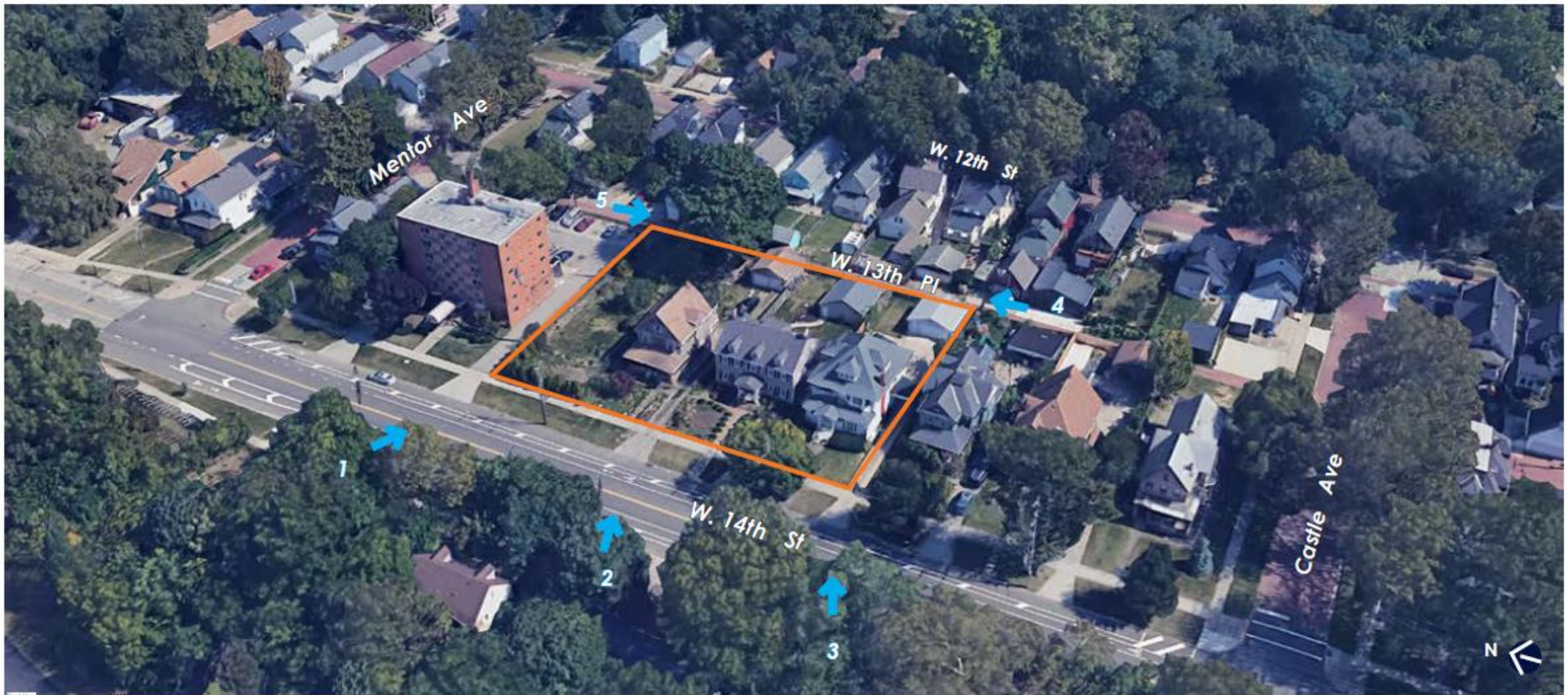
ZONING LEVEL



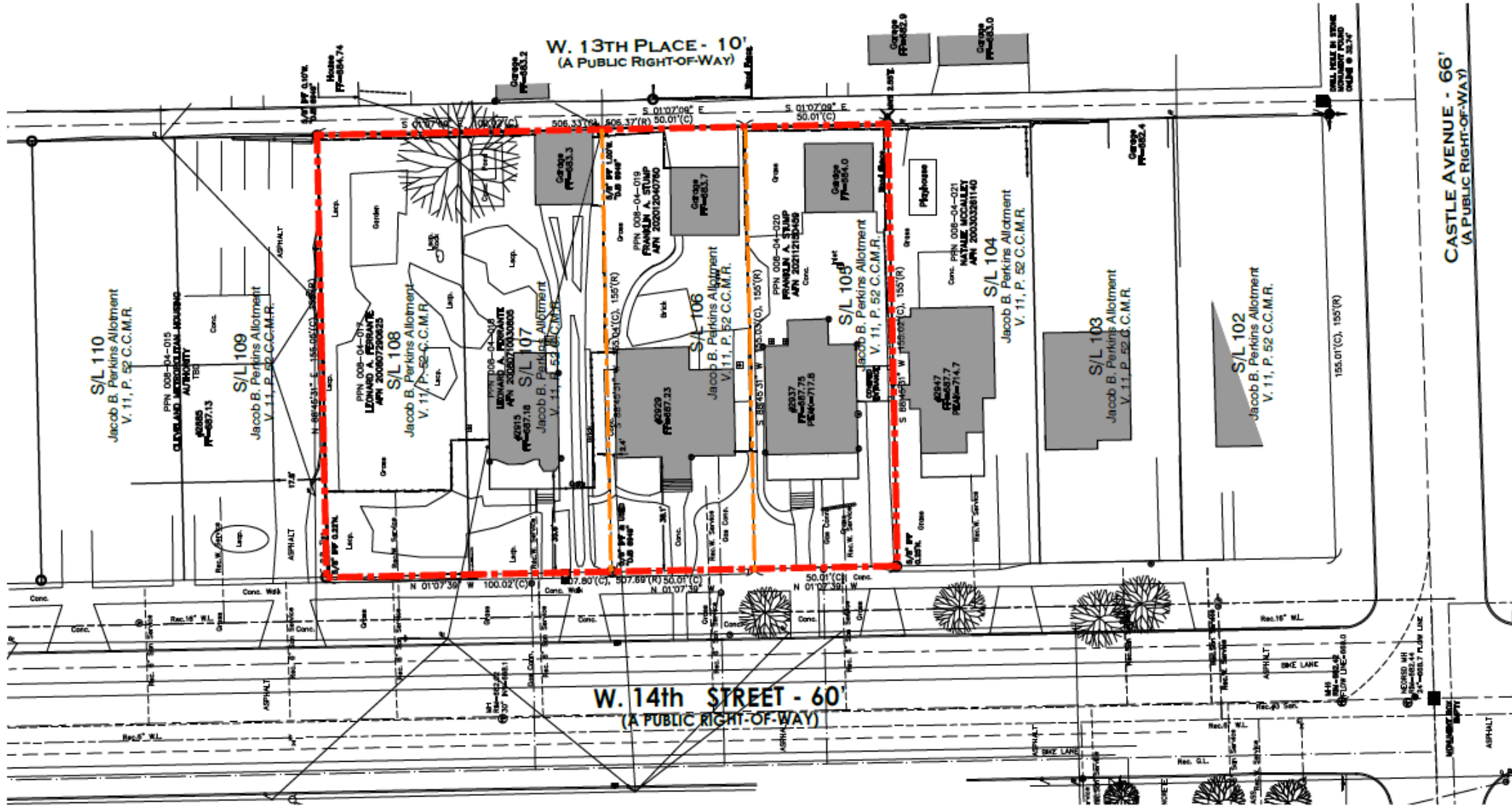
PARCEL LEVEL

**PROJECT DESCRIPTION:** This 31,000 SF site at 2915 W. 14th Ave consists of 4 parcels zoned Multifamily. Parcels will be consolidated to include 12 single family homes each approximately 4,200SF, 4-5 stories with a basement. 3 existing homes to be demolished. Attached 2-car garages will be accessed from centralized drive with one main curb cut entry access off 14th St.

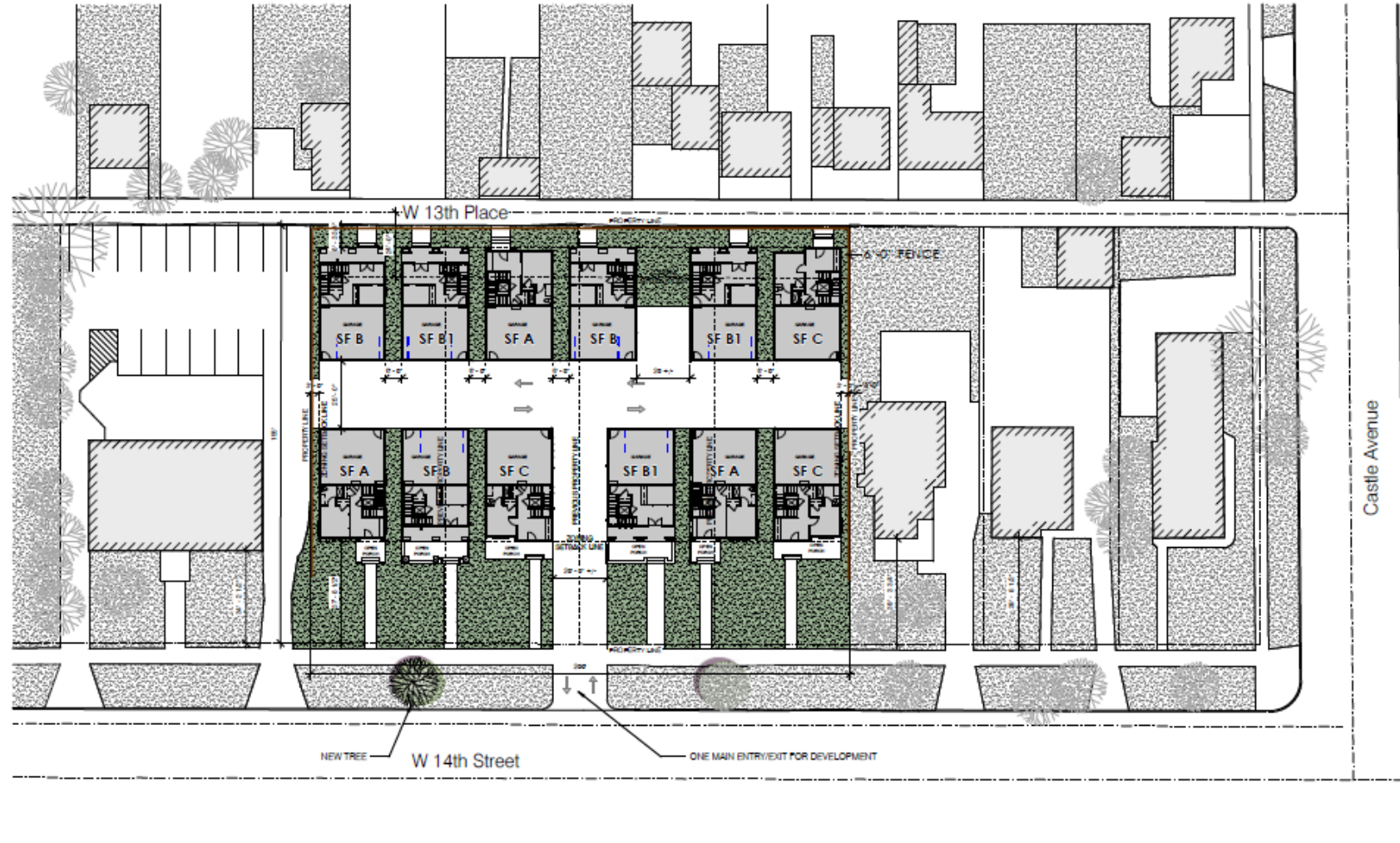








SITE INFO	
31,000 SF	200' FRONTAGE X 155' DEEP
ZONED: MF-D2	
MF - MULTIFAMILY DISTRICT D - AREA DISTRICT 2 - HEIGHT DISTRICT	
SETBACKS	
FRONT 37.7' (34.2' + 39.3' + 39.7' = 113.2' / 3 = 37.7' = 37'-8 1/2")	
SIDE 3'	TO PROPERTY LINE
6'	AGGREGATE WIDTH
6'	BETWEEN BUILDINGS
*REAR 24'	(155' DEPTH X 0.15 = 24') (1/2 ALLEY WIDTH CONTRIBUTE)
HEIGHT 60'	MAX
* VARIANCE REQ'D @ REAR SET BACK, ALONG ALLEY	
12 SINGLE FAMILY HOMES (25' x 42')	
GROSS SQUARE FOOTAGES - SF A	
Mechanical/ Garage (not included in total)	805 sf
Basement	381 sf
Level 1	487 sf
Level 2	960 sf
Level 3	960 sf
Level 4	927 sf
Level 5	386 sf
Total Living Space	4151 sf
Total Surface Area of 3 SF A Homes	3,075 sf
GROSS SQUARE FOOTAGES - SF B	
Mechanical/ Garage (not included in total)	810 sf
Basement	432 sf
Level 1	373 sf
Level 2	865 sf
Level 3	1,076 sf
Level 4	1,076 sf
Level 5	437 sf
Total Living Space	4,279 sf
Total Surface Area of 3 SF B Homes	3,170 sf
GROSS SQUARE FOOTAGES - SF B1	
Mechanical/ Garage (not included in total)	810 sf
Basement	432 sf
Level 1	373 sf
Level 2	865 sf
Level 3	1,076 sf
Level 4	1,076 sf
Level 5	437 sf
Total Living Space	4,279 sf
Total Surface Area of 3 SF B1 Homes	3,170 sf
GROSS SQUARE FOOTAGES - SF C	
Mechanical/ Garage (not included in total)	775 sf
Basement	432 sf
Level 1	495 sf
Level 2	1,012 sf
Level 3	1,012 sf
Level 4	552 sf
Total Living Space	3,472 sf
Total Surface Area of 3 SF C Homes	3,125 sf



SCALE: 1" = 40'-0"







PRECEDENT  
Existing development | W. 5th st. in Tremont



MASSING

January 06, 2025 | CONCEPT DESIGN



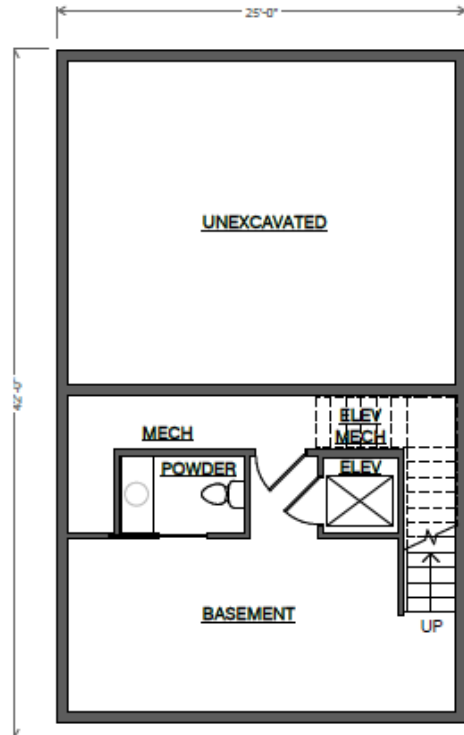
**SF A**

SINGLE FAMILY HOUSE

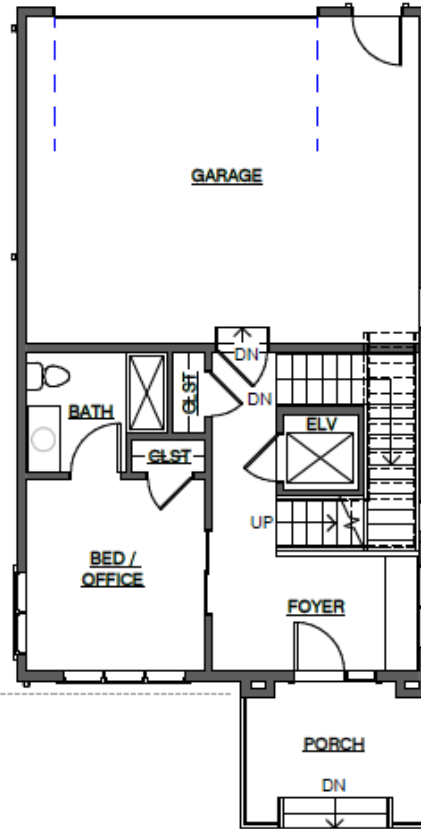
---

PLANS AND ELEVATIONS

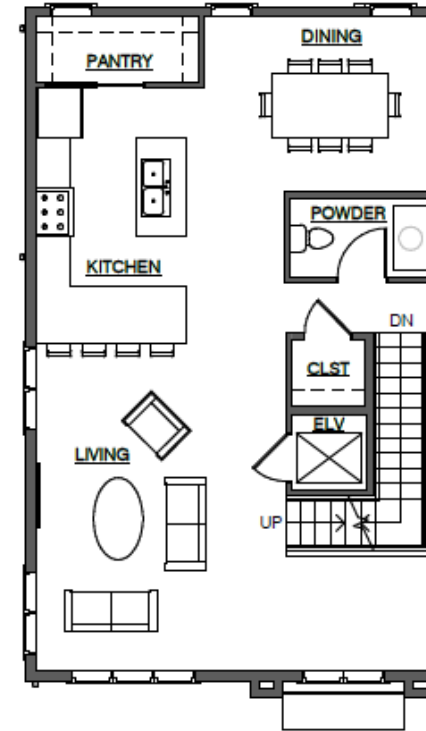




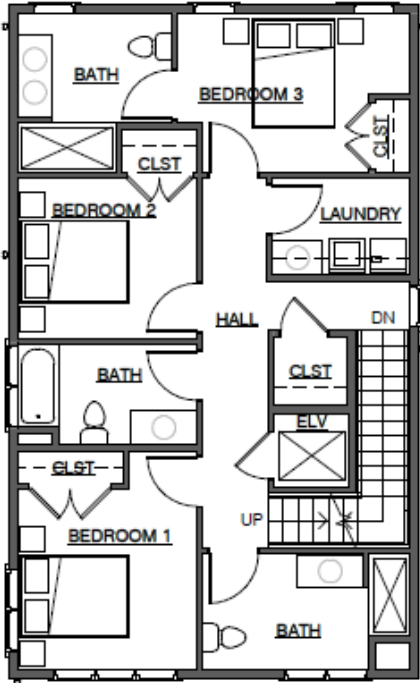
BASEMENT



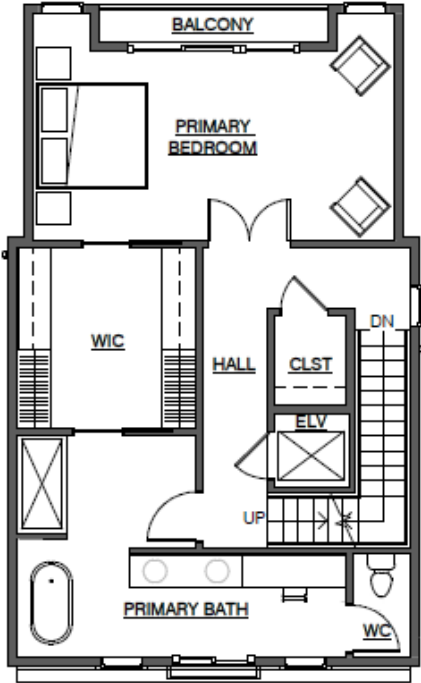
LEVEL 1



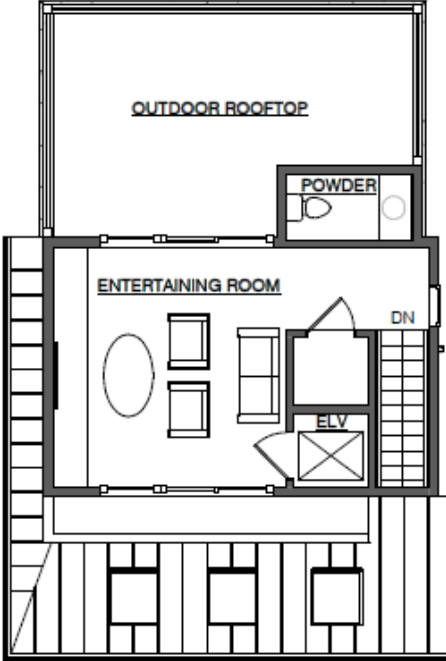
LEVEL 2



LEVEL 3



LEVEL 4



LEVEL 5 - ROOFTOP



FRONT

SIDE

NOTES

- A STUCCO
- B STONE
- C BRICK
- D METAL ROOF
- E METAL RAILING
- F TRELLIS
- G LAP SIDING
- H SHAKER SIDING
- I BOARD AND BATTEN SIDING
- J DOWNSPOUT





REAR

SIDE

- A STUCCO
- B STONE
- C BRICK
- D METAL ROOF
- E METAL RAILING
- F TRELLIS
- G LAP SIDING
- H SHAKER SIDING
- I BOARD AND BATTEN SIDING
- J DOWNSPOUT



2915 W14TH | Cleveland, OH  
SA40250124

January 06, 2025 | CONCEPT DESIGN

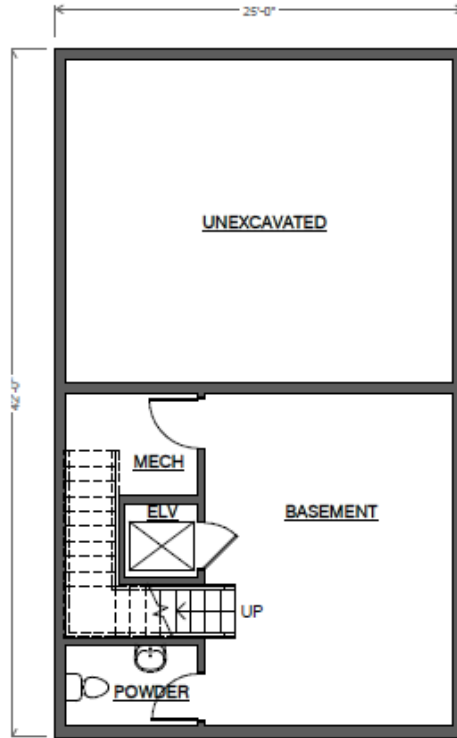
**SF B**

SINGLE FAMILY HOUSE

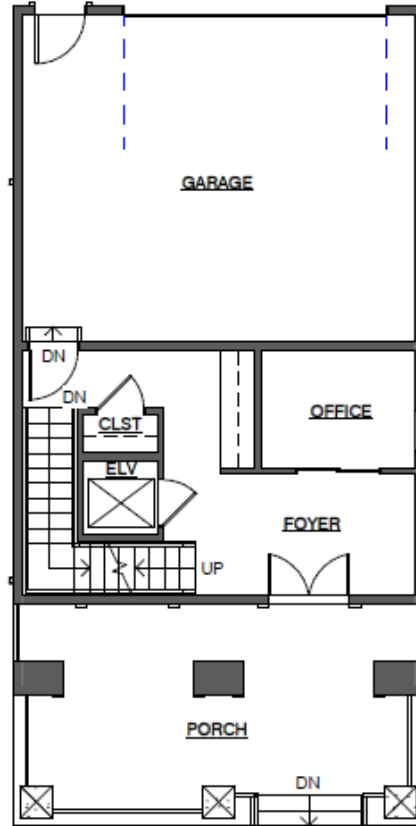
---

PLANS AND ELEVATIONS

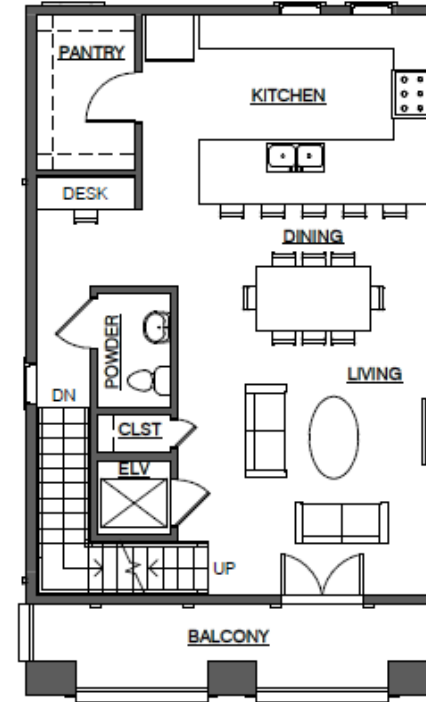
---



BASEMENT

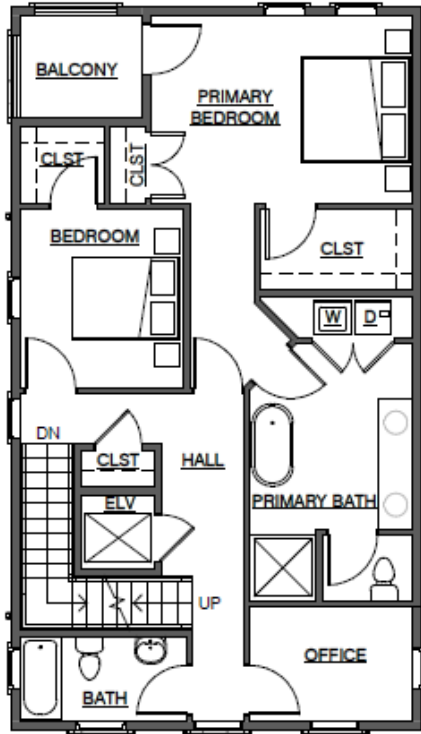


LEVEL 1

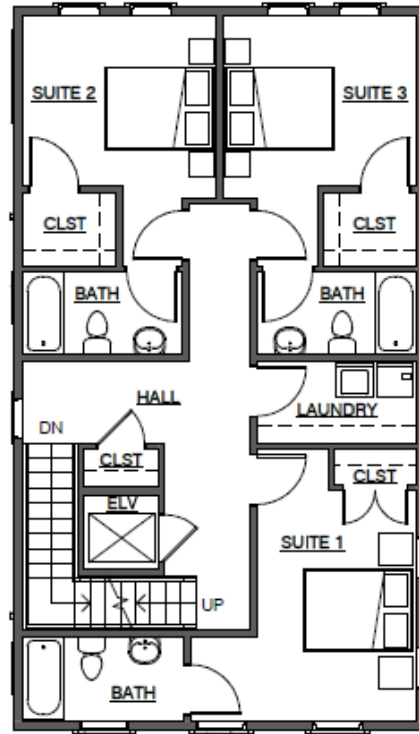


LEVEL 2

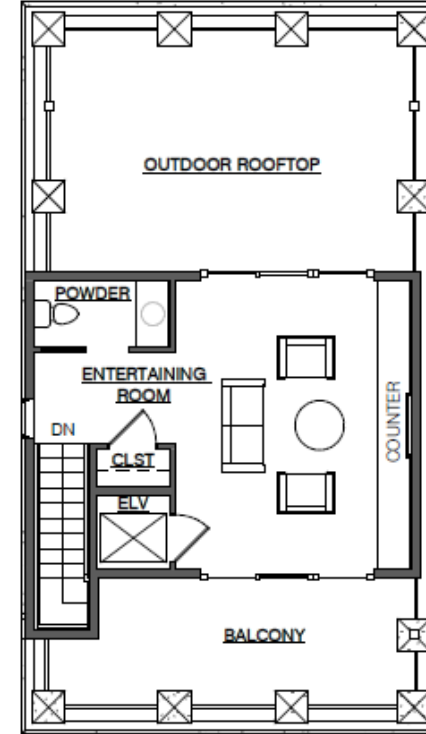




LEVEL 3



LEVEL 4



LEVEL 5 - ROOFTOP

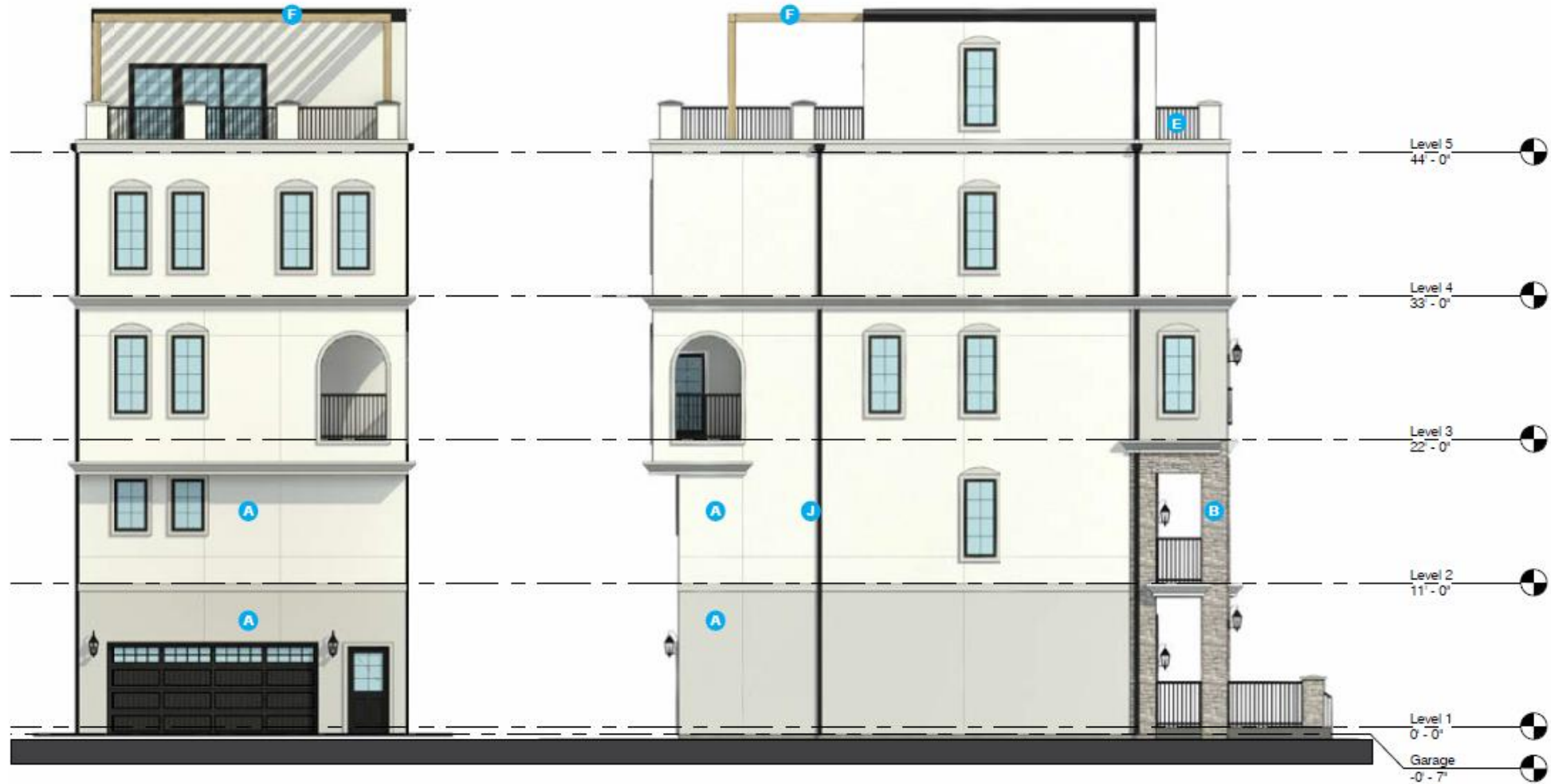


FRONT

SIDE

NOTES

- |                 |                     |                        |                        |                                  |
|-----------------|---------------------|------------------------|------------------------|----------------------------------|
| <b>A</b> STUCCO | <b>C</b> BRICK      | <b>E</b> METAL RAILING | <b>G</b> LAP SIDING    | <b>I</b> BOARD AND BATTEN SIDING |
| <b>B</b> STONE  | <b>D</b> METAL ROOF | <b>F</b> TRELLIS       | <b>H</b> SHAKER SIDING | <b>J</b> DOWNSPOUT               |



REAR

SIDE

NOTES

- |                 |                     |                        |                        |                                  |
|-----------------|---------------------|------------------------|------------------------|----------------------------------|
| <b>A</b> STUCCO | <b>C</b> BRICK      | <b>E</b> METAL RAILING | <b>G</b> LAP SIDING    | <b>I</b> BOARD AND BATTEN SIDING |
| <b>B</b> STONE  | <b>D</b> METAL ROOF | <b>F</b> TRELLIS       | <b>H</b> SHAKER SIDING | <b>J</b> DOWNSPOUT               |

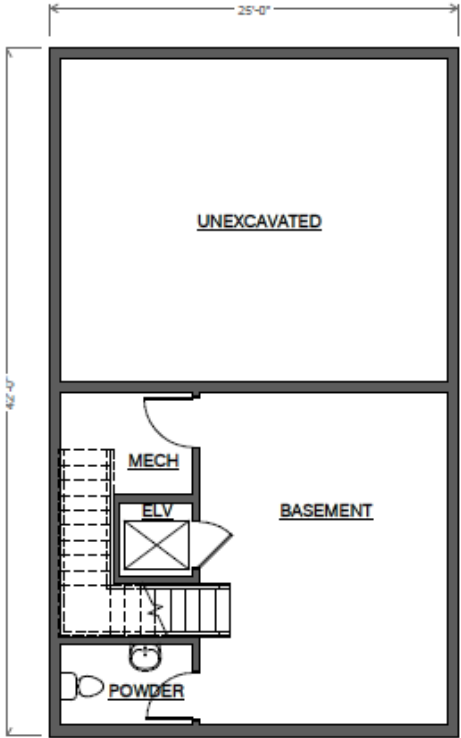


**SF B1**

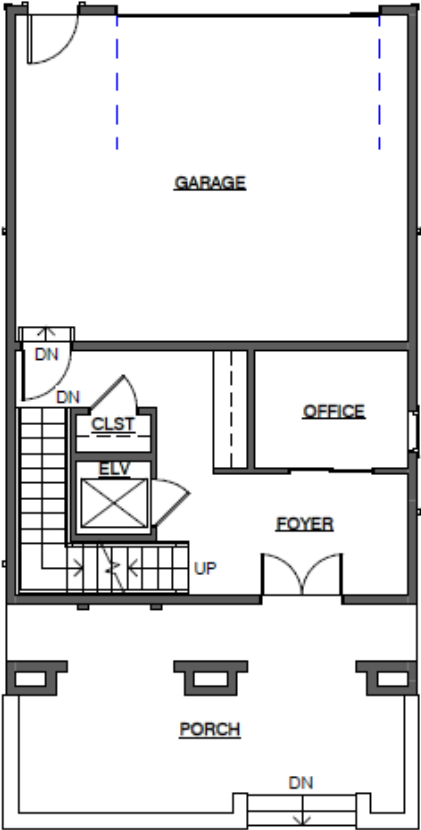
SINGLE FAMILY HOUSE

---

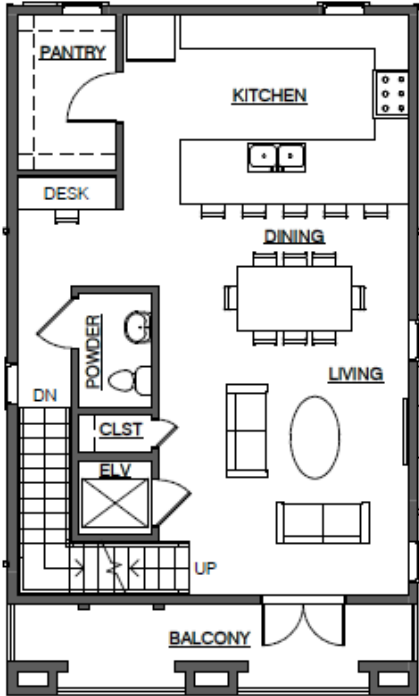
PLANS AND ELEVATIONS



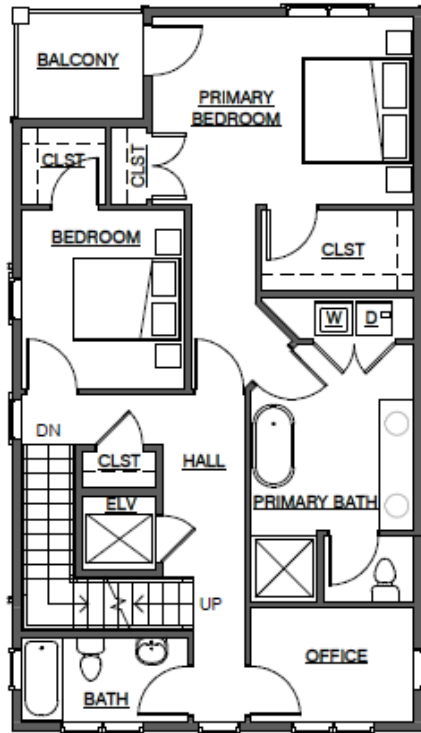
BASEMENT



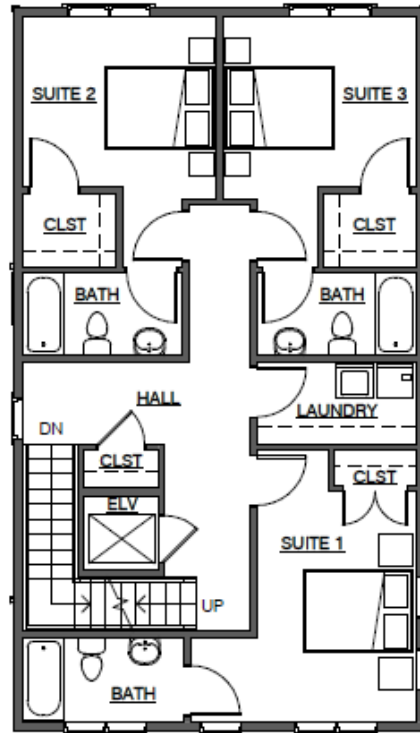
LEVEL 1



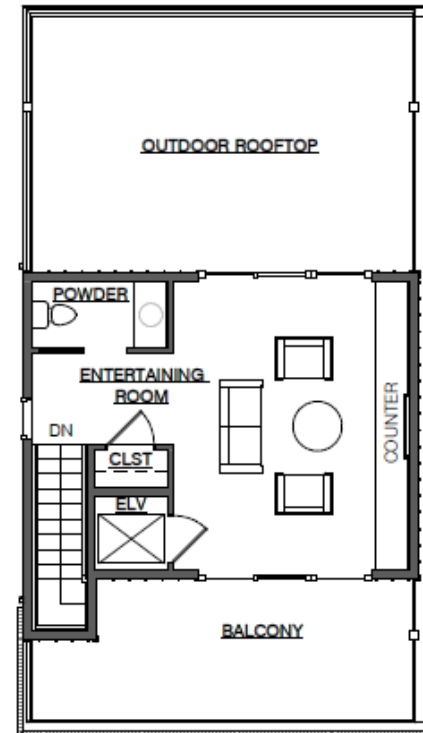
LEVEL 2



LEVEL 3



LEVEL 4



LEVEL 5 - ROOFTOP





FRONT

SIDE

NOTES

- A STUCCO
- B STONE
- C BRICK
- D METAL ROOF
- E METAL RAILING
- F TRELLIS
- G LAP SIDING
- H SHAKER SIDING
- I BOARD AND BATTEN SIDING
- J DOWNSPOUT



REAR

SIDE

NOTES

- |                 |                     |                        |                        |                                  |
|-----------------|---------------------|------------------------|------------------------|----------------------------------|
| <b>A</b> STUCCO | <b>C</b> BRICK      | <b>E</b> METAL RAILING | <b>G</b> LAP SIDING    | <b>I</b> BOARD AND BATTEN SIDING |
| <b>B</b> STONE  | <b>D</b> METAL ROOF | <b>F</b> TRELLIS       | <b>H</b> SHAKER SIDING | <b>J</b> DOWNSPOUT               |

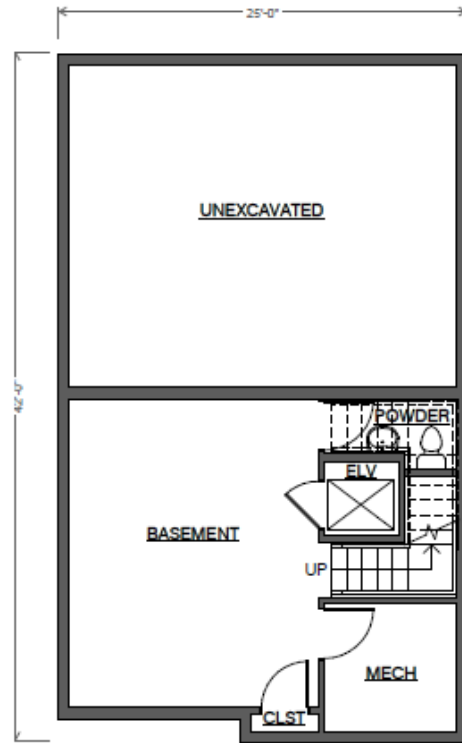
SF C

SINGLE FAMILY HOUSE

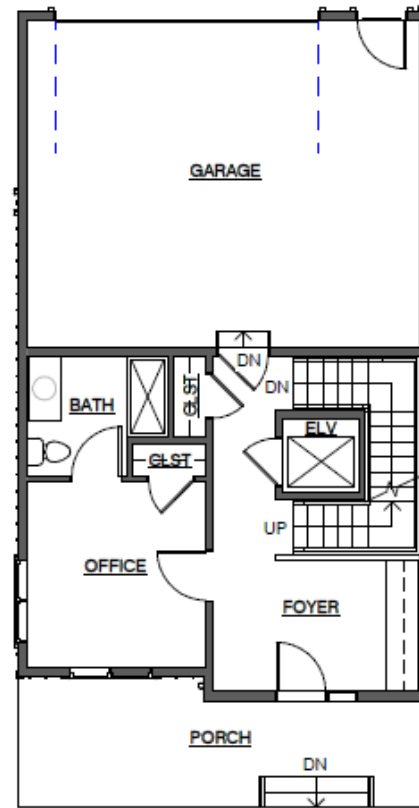
---

PLANS AND ELEVATIONS

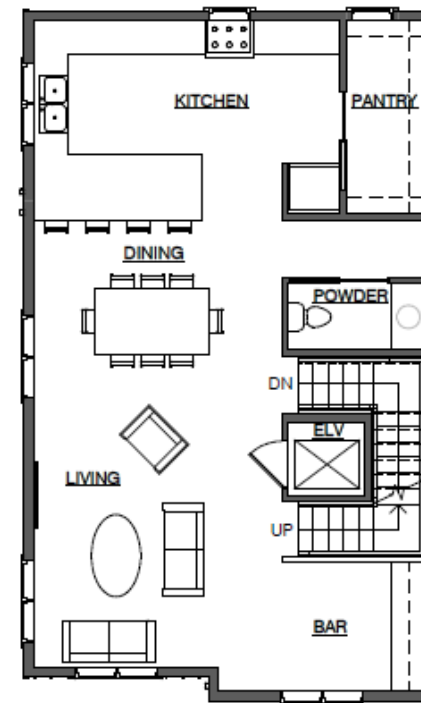




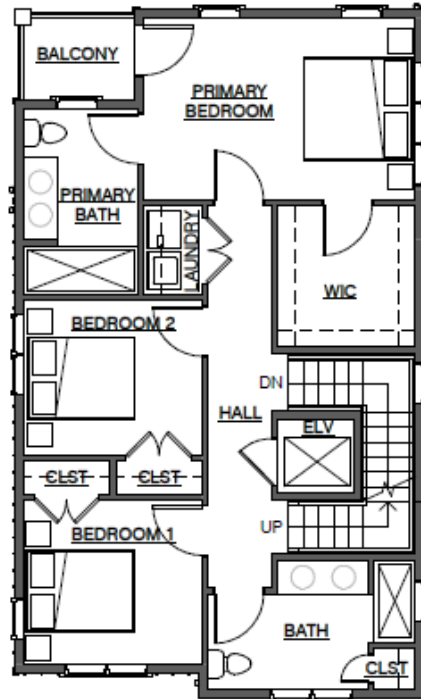
BASEMENT



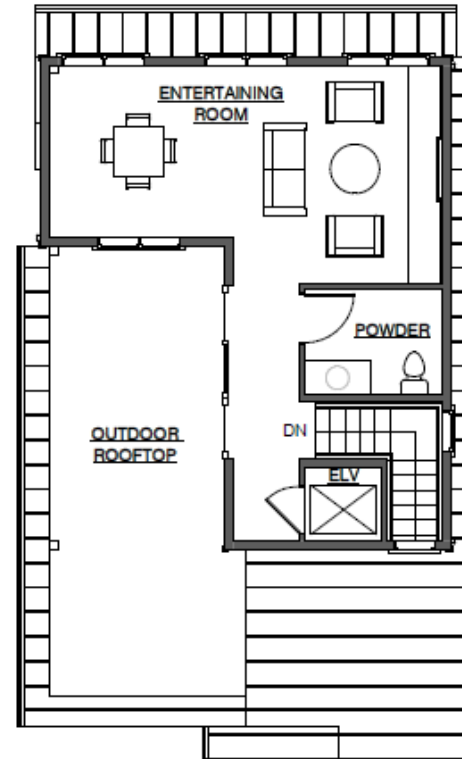
LEVEL 1



LEVEL 2



LEVEL 3



LEVEL 4 - ROOFTOP



FRONT

SIDE

NOTES

- A** STUCCO
- B** STONE
- C** BRICK
- D** METAL ROOF
- E** METAL RAILING
- F** TRELLIS
- G** LAP SIDING
- H** SHAKER SIDING
- I** BOARD AND BATTEN SIDING
- J** DOWNSPOUT





REAR

SIDE

NOTES

- |                 |                     |                        |                        |                                  |
|-----------------|---------------------|------------------------|------------------------|----------------------------------|
| <b>A</b> STUCCO | <b>C</b> BRICK      | <b>E</b> METAL RAILING | <b>G</b> LAP SIDING    | <b>I</b> BOARD AND BATTEN SIDING |
| <b>B</b> STONE  | <b>D</b> METAL ROOF | <b>F</b> TRELLIS       | <b>H</b> SHAKER SIDING | <b>J</b> DOWNSPOUT               |



# Cleveland City Planning Commission

## Staff Report

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025





### Near West Design Review Advisory Committee Meeting Motion and Report Form

Meeting Location: Virtual, 8:00 AM

**Case Number:** NW2024-34 **Meeting Date:** 12.11.24  
**Project Name:** West 14th Development **Ward #:** 14  
**Project Address:** West 14th Street  
**Project Rep. :** Graham Post, Sixmo Architecture  
**Existing Use:** 3 Single family homes **Proposed Use:** New single family homes  
**Project Scope:** Construct 12 new SF homes

**Design Review Level Applied For:** Conceptual

**Motion by Design Review Committee:**

Approve (as presented)  Approve (with stated conditions)  Disapprove  Table

Conditions:

No conditions.

Notes - Color palette needs refining. Concern over demolition of existing homes on site. Front yard setbacks to be refined to meet zoning code. Developers to work with TWDC to schedule community meeting.

Motion to table failed.

**Committee Action:**

(1 = First; 2 = Second; R = Recusal Yea = Yes; Nay = No; Abst. = Abstain; Pres. = Present)

Contreras	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Madera - 2	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Esposito	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Rakaukas - 1	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Gallagher	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.	Sandoval	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Gardin	<input type="checkbox"/> Yea <input checked="" type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Hart	<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		<input type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.
Jurca (C)	<input checked="" type="checkbox"/> Yea <input type="checkbox"/> Nay <input type="checkbox"/> Abst. <input type="checkbox"/> Pres.		

# Cleveland City Planning Commission

## Central Southeast Design Review

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

# Central Southeast Design Review

---

Jan 17, 2025

***CSE2024-012 – Convenience Store***

**Project Address: 4475 Lee Rd**

**Type: New Construction**

**Project Representative: Warren Richardson**

**Approval: Schematic**

---

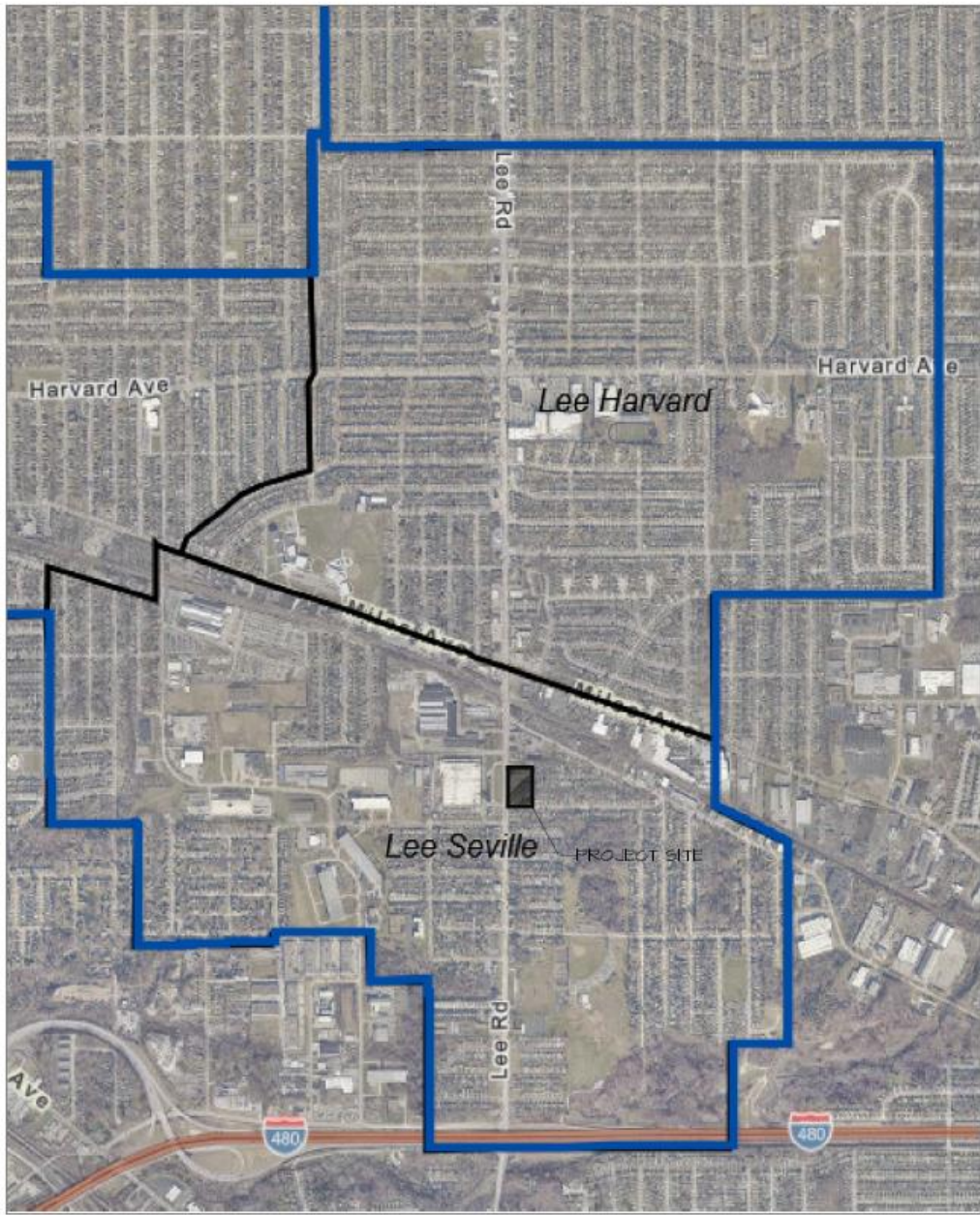
**Ward 1 – Councilmember Jones**

**SPA: Lee-Seville**









DISTRICT PLAN  
 SCALE: 1" = 100'



SITE CONTEXT PLAN  
 SCALE: 1" = 100'

SUPER ONE CONVENIENT STORE  
 4475 LEE RD  
 CLEVELAND, OHIO 44128

These documents are the property of UDS and are to be used only for the project and site indicated. No part of these documents may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system without the prior written permission of UDS.

DATE: 02/20/2018  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.

SITE CONTEXT PLAN  
 DISTRICT PLAN

SP-0





SITE

AERIAL VIEW  
SCALE: 1/8" = 100'



EXISTING LOCATION

VIEW 2  
SCALE: 1/8" = 100'



SITE

VIEW 4  
SCALE: 1/8" = 100'



SITE

VIEW 1  
SCALE: 1/8" = 100'



SITE

VIEW 5  
SCALE: 1/8" = 100'

**UDS**  
URBANE DESIGN STUDIO  
14077 CLEAR RD, SUITE 200  
CLEVELAND, OHIO 44128  
PHONE: (440) 832-1270  
FAX: (440) 832-1271  
WWW.UDSSTUDIO.COM

SUPER ONE CONVENIENT STORE

4475 LEE RD  
CLEVELAND, OHIO 44128

These documents are the property of UDS. They are to be used only for the project specified. They are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of UDS. UDS shall not be held liable for any errors or omissions in these documents.

DATE DRAWN BY: MS  
DATE REVISION BY: AK  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.

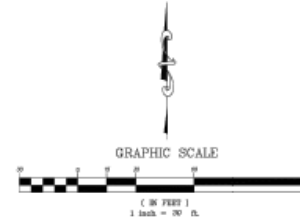
SITE CONTEXT

SP-0.1



**LOT CONSOLIDATION PLAT  
FOR  
DONNA M. SNEAD-JONES**

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, AND STATE OF OHIO, AND KNOWN AS BEING ALL OF SUBDIVISIONS NOS. 106, 107, 108, AND 109 IN WILLIAM J. LANG'S LEE HEIGHTS ALLOTMENT OF PART OF ORIGINAL WAINWRIGHT TOWNSHIP LOT NOS. 83, 84, 82, AND 85 AS SHOWN BY THE RECORDED PLAT IN VOLUME 88, PAGE 16 OF CUYAHOGA COUNTY MAP RECORDS.



**REFERENCE SURVEYS**

1. CSR, BOOK 107, PAGE 38-39.
2. CSR, BOOK 104, PAGE 154.
3. CSR, BOOK 118, PAGE 160-161.
4. CSR, BOOK 82, PAGE 159.
5. CSR, BOOK 95, PAGE 90-91.
6. VOLUME 88, PAGE 16 OF C.C.M.R.

P.P.M. 143-13-009  
P.P.M. 143-13-010  
P.P.M. 143-13-011  
P.P.M. 143-13-012  
DONNA M. SNEAD-JONES  
A.F.N. 2027101.00529

**PARCEL "A"**  
24,000 SQ. FT.  
0.5510 ACRES

**OWNERS ACCEPTANCE:**

I, THE UNDERSIGNED OWNERS OF THE LAND SHOWN HEREON DO HEREBY ACCEPT THIS LOT CONSOLIDATION PLAT OF THE SAME.

DONNA M. SNEAD-JONES

**NOTARY:**

STATE OF OHIO

COUNTY OF CUYAHOGA

BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED THE ABOVE NAMED OWNERS WHO ACKNOWLEDGE SHE DID SIGN THE FOREGOING INSTRUMENT AND THAT IT WAS THEIR OWN FREE ACT AND DEED, IN WITNESS WHEREOF, I HAVE HEREONTO SET MY HAND OFFICIAL SEAL AT \_\_\_\_\_ OHIO, THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2023.

NOTARY PUBLIC \_\_\_\_\_

BY COMMISSION EXPIRES \_\_\_\_\_

**APPROVALS:**

THIS LOT CONSOLIDATION PLAT IS ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, STATE OF OHIO, THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2023.

JOYCE PAN HUIANG PLANNING DIRECTOR

THIS LOT CONSOLIDATION PLAT IS ACCEPTED AND APPROVED BY THE PLATING COMMISSIONER OF THE CITY OF CLEVELAND, STATE OF OHIO, THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2023.

ROD-AND (SITALSKI) PLATTING COMMISSIONER

**CERTIFICATION:**

THIS SURVEY CONFORMS TO OAC 4733-27, MINIMUM STANDARDS FOR A BOUNDARY SURVEY. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ALL, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND PERSONAL BELIEF, WHICH I HEREBY STATE TO BE CORRECT.

ELTON K. COOPER, SR. PS 8871 DATE 06/25/2023

NOTE: REARERS SHOWN HEREON ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DONOR'S ANGLES ONLY.  
● = 5/8"X30" IRON PIN SET AND CAPPED P.L.S. NO. 8871



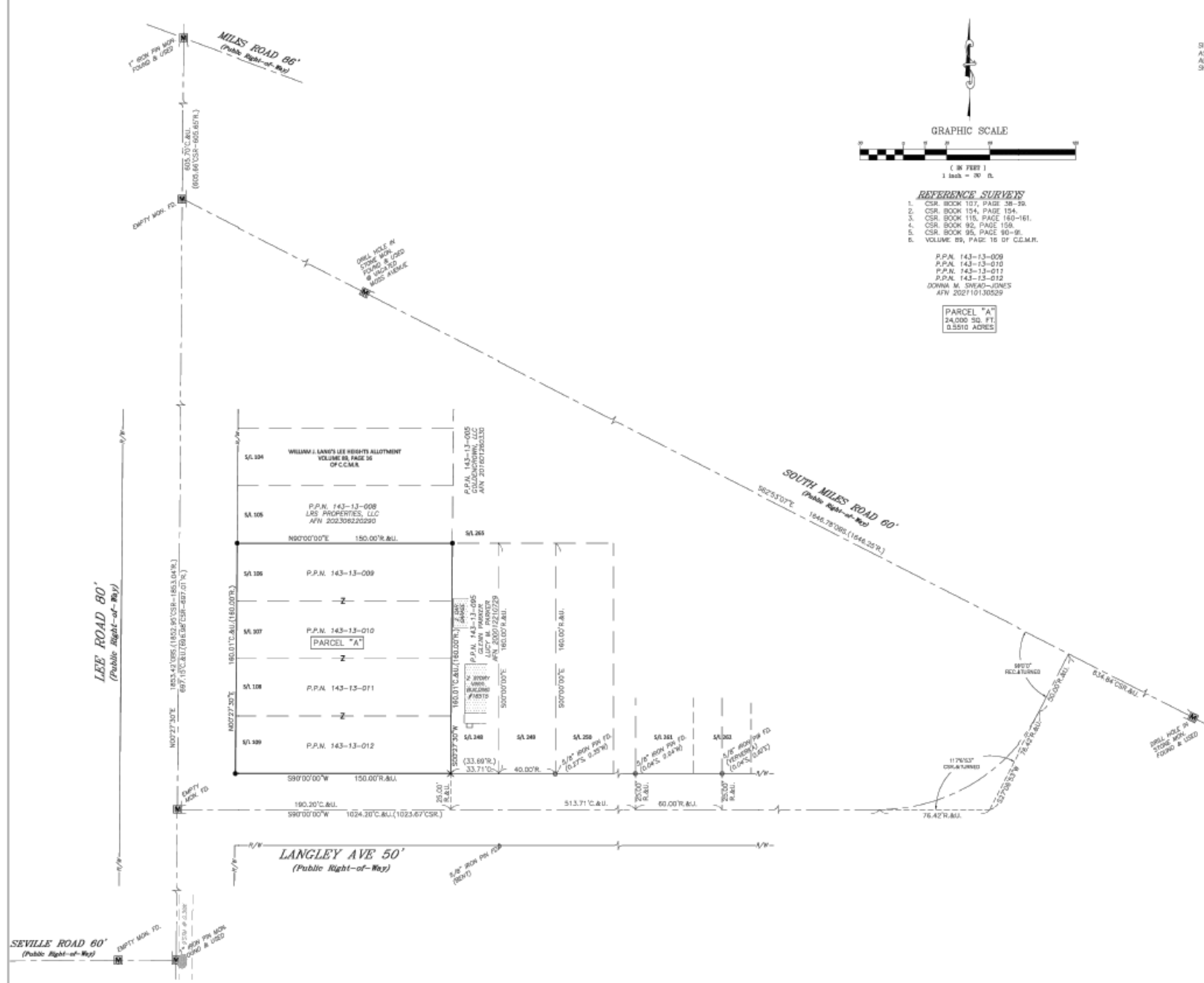
**LEGEND**

- IRON PIN SET
  - IRON PIN/PIPE FOUND
  - MONUMENT BOX FOUND
  - + MAG. NAIL SET
  - REC./R. RECORD MEAS./M. MEASURED
  - CALC./C. CALCULATED
  - OSB. OBSERVED
  - VEL. VELOCITY
  - PD. PAGE
  - AC. ACRES
  - SQ. FT. SQUARE FEET
  - C.C.M.R. CUYAHOGA COUNTY MAP RECORDS
  - CSR. CLEVELAND SURVEY RECORDS
  - E.C.T.P. BUILD CORRIDOR EXISTENCE PLAT
  - P.P.M. REMAINDER PARCEL NUMBER
- CENTER LINE \_\_\_\_\_  
RIGHT OF WAY LINE \_\_\_\_\_  
PROPERTY LINE \_\_\_\_\_  
ADJACENT PROPERTY LINE \_\_\_\_\_  
ORIGINAL LOT LINE \_\_\_\_\_



CENTRAL SURVEYING AND MAPPING, INC.  
18028 HAWARD AVENUE, UNIT 20872  
CLEVELAND, OHIO 44128  
(216) 701-4669 OFFICE  
(877) 792-4668 FAX

DRAWN BY E.K.C.	SCALE 1"=30'	DATE 06/18/2023
CHECK BY E.K.C.	JOB NO. 23-012	PAGE 1 OF 1



NOTES

1. PROTECT EXISTING TREES TO REMAIN.

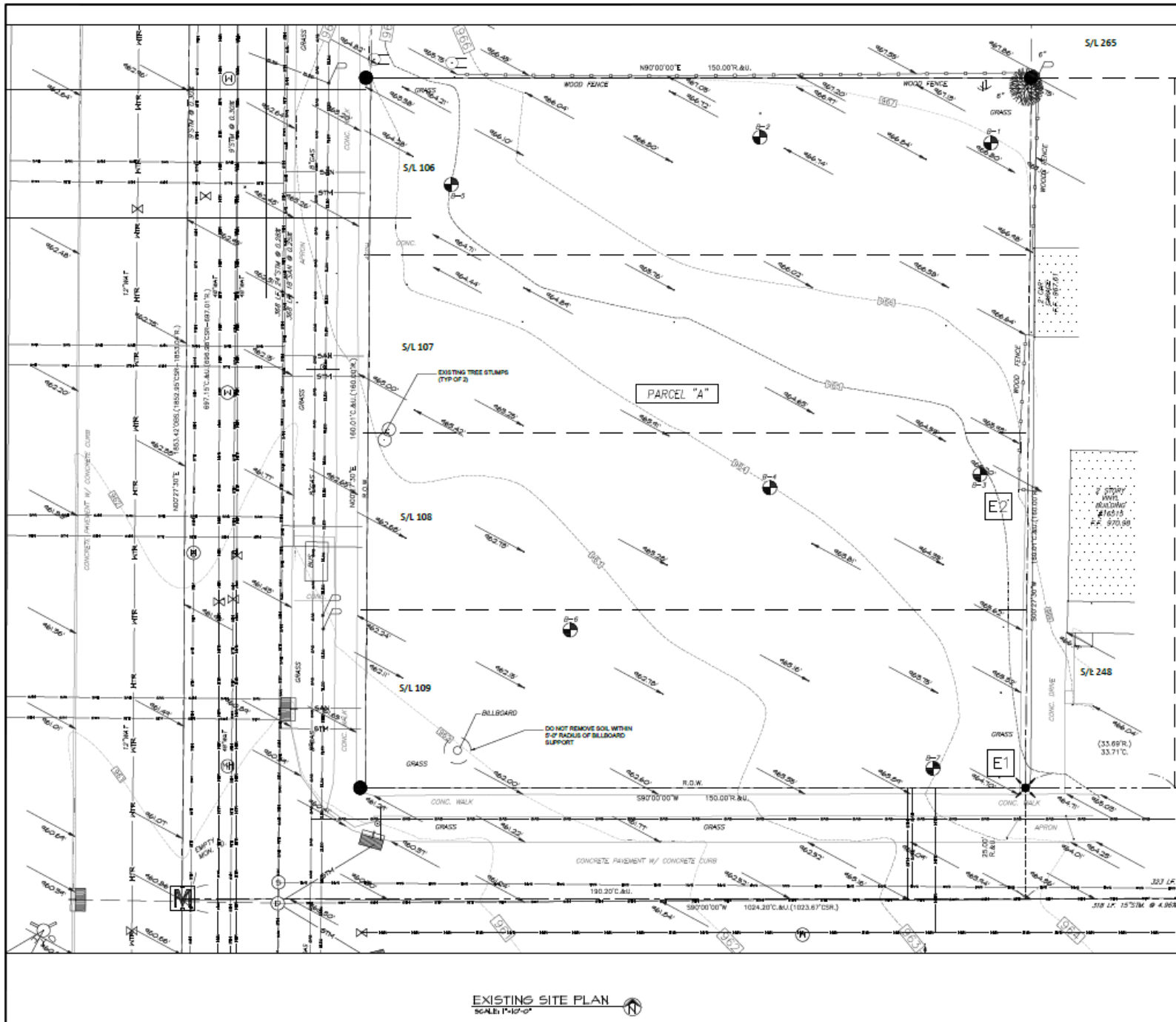
**SUPER ONE CONVENIENT STORE**  
4475 LEE RD  
CLEVELAND, OHIO 44128

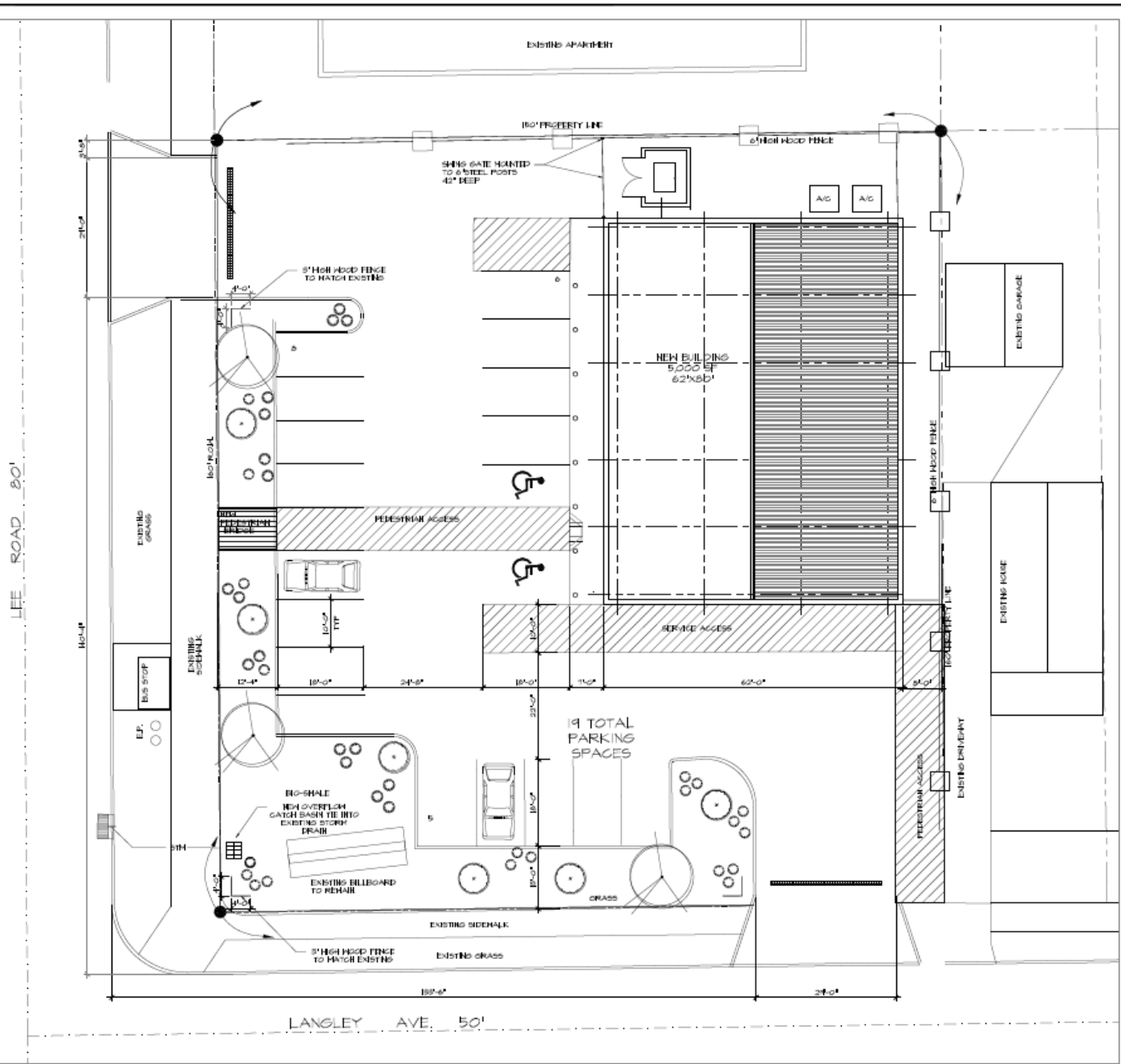
These drawings are the property of Urban Design Studios and shall not be copied, reproduced, and/or distributed in any manner without the written consent of Urban Design Studios.

DATE DRAWN BY: HSR  
DATE CHECKED BY: HSR  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

EXISTING SITE PLAN  
WITH TOPO

SP-1





**SUPER ONE CONVENIENT STORE**  
4475 LEE RD  
CLEVELAND, OHIO 44128

These drawings are the property of Urban Design Studio and shall not be copied, reproduced, used or altered in any manner without the written consent of Urban Design Studio.

DRAWN BY: JAC  
CHECKED BY: JAC  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

PROPOSED SITE PLAN

SP-2

PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"







AMERICAN SENTRY LINDEN



ARBOR VITAE



TORTUGA JUNIPER



TREX COMPOSITE FENCING



RECYCLED PLASTIC PEDESTRIAN BRIDGE - BY MODIE OUTDOOR PRODUCTS

**UDS**  
 URBAN DESIGN STUDIO  
 14577 CLEVELAND RD. STE. 100  
 CLEVELAND, OHIO 44128  
 PHONE (440) 836-1270  
 FAX (440) 836-1270  
 WWW.UDSDESIGNSTUDIO.COM

SUPER ONE CONVENIENT STORE  
 4475 LEE RD  
 CLEVELAND, OHIO 44128

These drawings are the property of Urban Design Studio and shall not be copied, reproduced, used or distributed in any form without the written consent of Urban Design Studio.

DRAWN BY: JCB  
 CHECKED BY: JCB  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

EXTERIOR FURNISHING AND MATERIALS







PROPOSED INTERIOR VIEW



PROPOSED FRUIT AND VEGETABLE STAND BY GLOBAL SOURCES

**HALL LEGEND:**

	EXTERIOR HALL	CMU WITH METAL TIES @ 16" O.C. HORIZONTAL AND 24" VERTICAL WITH 1/2" AIR SPACE WITH 1/2" APA RATED SHEATHING WITH WEATHER RESISTIVE INSULATION BARRIER OR 2x4 STUDS @ 16" O.C. FILLED WITH R-50 BATT INSULATION AND 2 LAYERS OF 5/8" DRYWALL INTERIOR SIDE WITH 2 COATS OF PRIMER AND PAINTED.
	INTERIOR HALL (TYP)	2x4 STUDS @ 16" O.C. WITH EXTERIOR HEATHER RESISTIVE INSULATION AND CAVITY TO BE FILLED WITH SOUND ATTENUATION INSULATION AND 5/8" DRYWALL ON EACH SIDE WITH 2 COATS PRIMER AND PAINTED L.V.C.

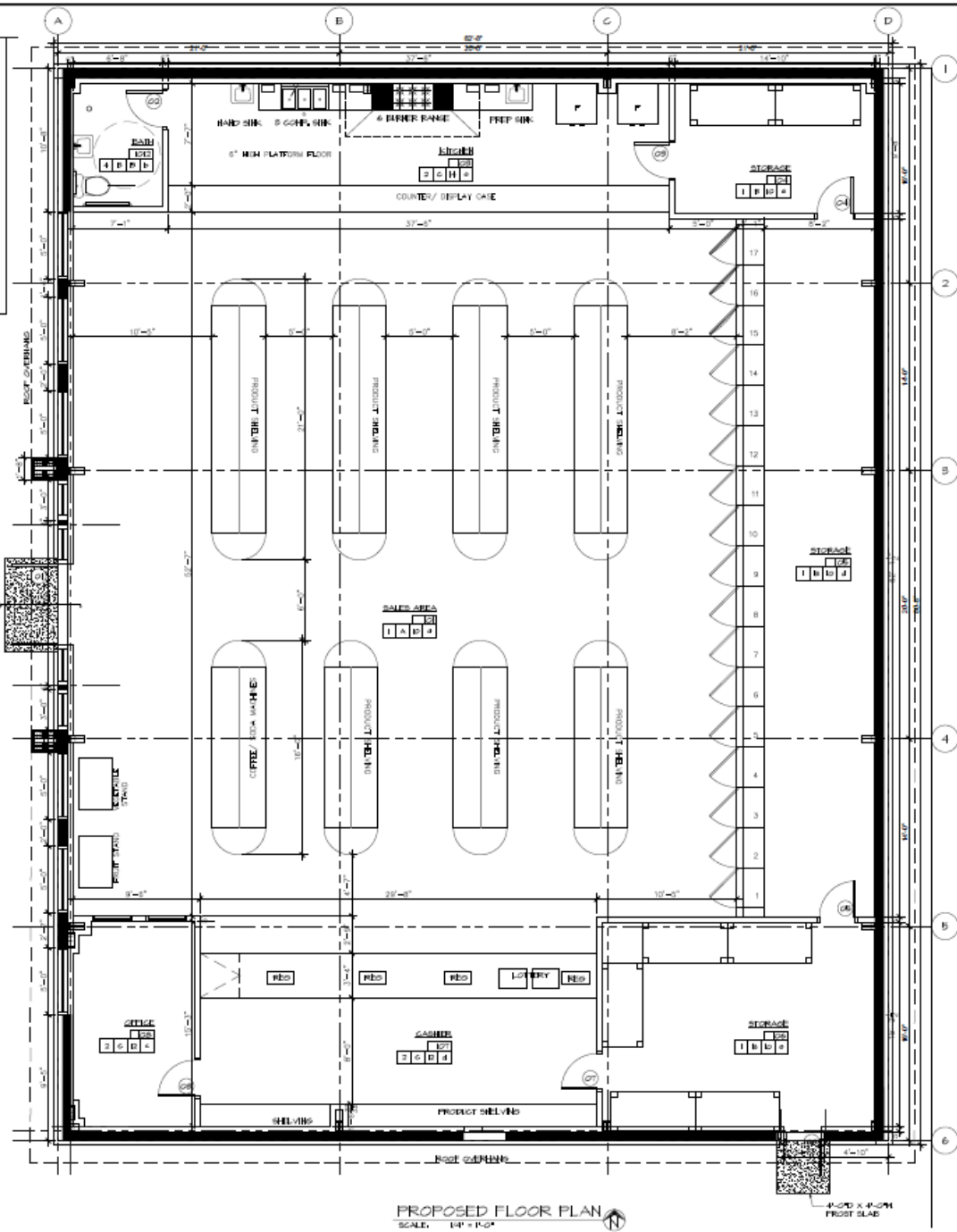
**ROOM FINISH SCHEDULE**

FLOOR	BASE	WALLS	CEILING
1 STAINED CONCRETE	A HOOD	10 5/8" GYP. BO. PAINTED	5/8" ACT. GIB LAY-IN
2 SMOOTH FLOOR	B LAHRATE	5/8" GYP. BO. PAINTED	DRYWALL
3 CONCRETE	C 4" REEFER	1/2" GYP. BO. N. NR	5/8" ACT. GIB LAY-IN
4 CERAMIC	D CERAMIC	10 CERAMIC TILE	OPEN TO STRUCTURE
5 FINISHED	E NONE	14 FRP OR DRYWALL	FRP

**ROOM FINISH KEY**

1 2 3 4 5

NOTE:  
 1- ALL WALL PAINTS SHALL BE SATIN FINISH.  
 2- ALL PAINT SHALL BE LOW VOLATILE ORGANIC COMPOUND (V.O.C.).



PROPOSED FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

SUPER ONE CONVENIENCE STORE  
 4475 LEE RD  
 CLEVELAND, OHIO 44128

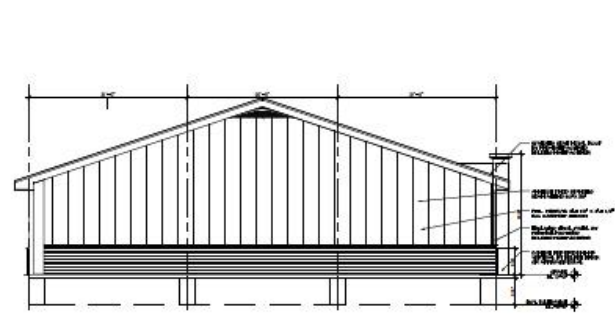
These drawings are the property of Urban Design Studio and shall not be copied, reproduced, and/or distributed in any form without the written consent of Urban Design Studio.

DATE DRAWN BY: RD  
 CHECKED BY: BS  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.

PROPOSED FLOOR PLAN



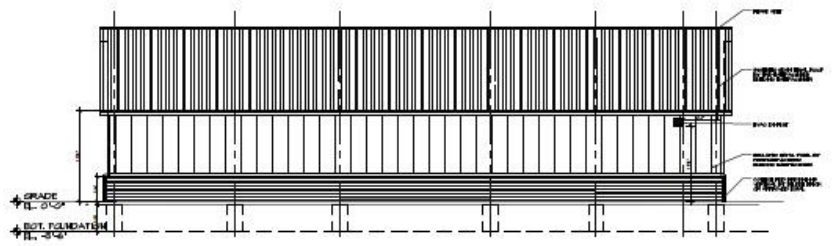
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



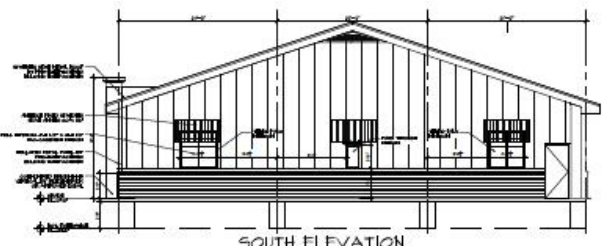
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



ANNECK HATCHER 3074 x 56" PROJECTION  
STANDING SEAM METAL HATCHER FINISH



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**Regal Red**  
STANDING SEAM  
ROOF BY METAL  
BUILDING MANUF.  
REGAL RED



LIGHT STONE INSULATED  
METAL PANEL BY  
METAL BUILDING MANUF.

**Belden Brick Belcrest 500 Modular Thin**

BH03941



**READY ACCESS**

603 Flushmount Window  
with Transaction Drawer



**STANDARD FEATURES:**

- 1. 603 Flushmount Window with Transaction Drawer
- 2. 603 Flushmount Window with Transaction Drawer
- 3. 603 Flushmount Window with Transaction Drawer
- 4. 603 Flushmount Window with Transaction Drawer
- 5. 603 Flushmount Window with Transaction Drawer
- 6. 603 Flushmount Window with Transaction Drawer
- 7. 603 Flushmount Window with Transaction Drawer
- 8. 603 Flushmount Window with Transaction Drawer
- 9. 603 Flushmount Window with Transaction Drawer
- 10. 603 Flushmount Window with Transaction Drawer

**OPTIONAL FEATURES:**

- 1. 603 Flushmount Window with Transaction Drawer
- 2. 603 Flushmount Window with Transaction Drawer
- 3. 603 Flushmount Window with Transaction Drawer
- 4. 603 Flushmount Window with Transaction Drawer
- 5. 603 Flushmount Window with Transaction Drawer
- 6. 603 Flushmount Window with Transaction Drawer
- 7. 603 Flushmount Window with Transaction Drawer
- 8. 603 Flushmount Window with Transaction Drawer
- 9. 603 Flushmount Window with Transaction Drawer
- 10. 603 Flushmount Window with Transaction Drawer

READY ACCESS TRANSACTION WINDOW

**SUPER ONE CONVENIENT STORE**  
**4475 LEE RD**  
**CLEVELAND, OHIO 44128**

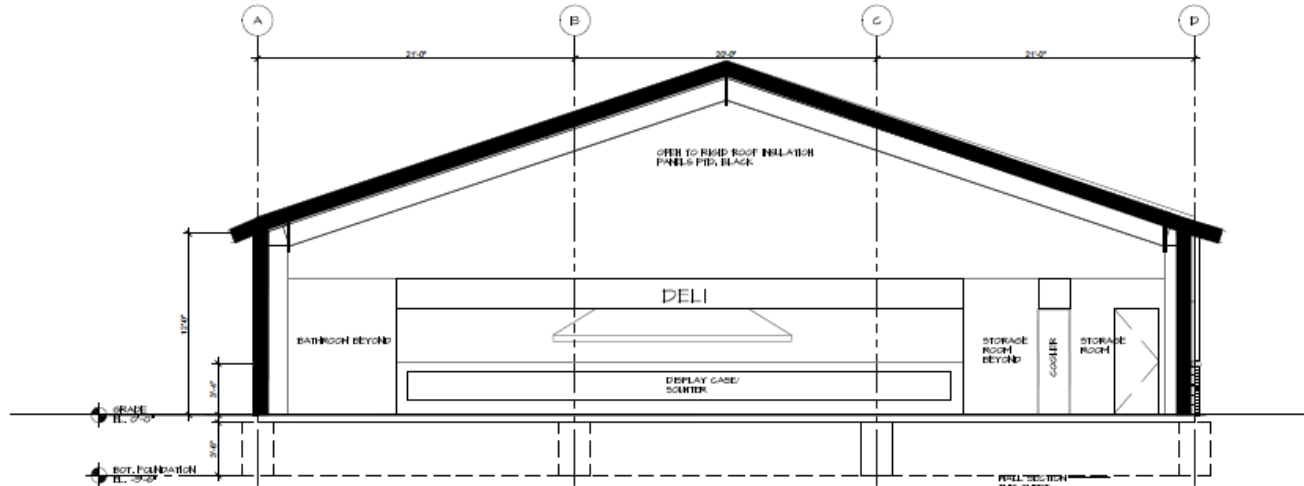
These drawings are the property of Urban Design Studio and shall not be copied, reproduced, and/or distributed in any form without the written consent of Urban Design Studio.

DRAWN BY: RDS  
 CHECKED BY: HR  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD

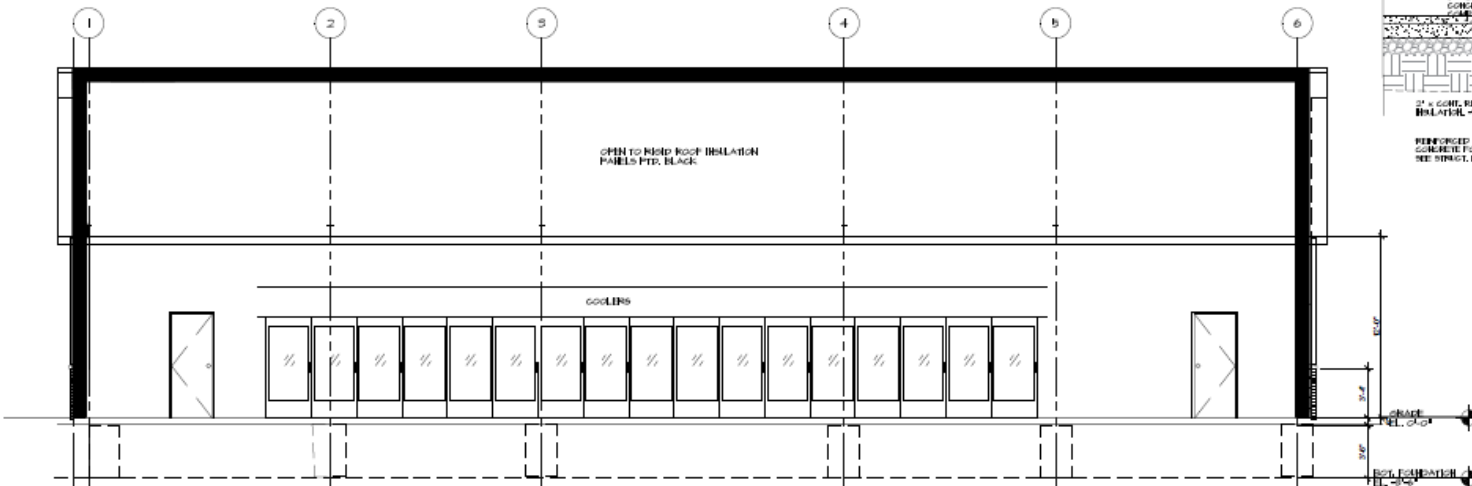
ELEVATIONS  
 TYP. SECTION

These drawings are the property of UDS. Design, build and install per the contract. Reproduction, use or distribution of these drawings without the written consent of UDS is strictly prohibited.

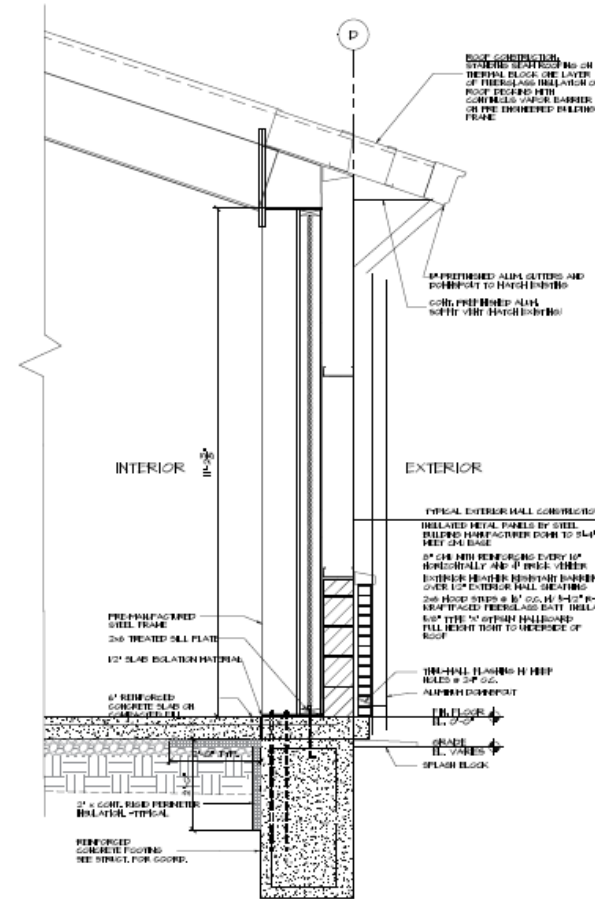
DATE DRAWN BY: HCS  
 DATE CHECKED BY: HCS  
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD



**BUILDING CROSS SECTION**  
 SCALE: 1/4" = 1'-0"



**BUILDING LONGITUDINAL SECTION**  
 SCALE: 1/4" = 1'-0"



**HALL SECTION**  
 SCALE: 3/4" = 1'-0"

ROOF CONSTRUCTION: SYSTEM WITH ROOFING ON INTERNAL BLOCK ONE LAYER OF THERMO-GLASS INSULATION ON ROOF DECKED WITH CONCRETE VAPOR BARRIER OR PER ENGINEERED DESIGN FRAME

APPROXIMATED ALUM. GUTTERS AND DOWNSPUT TO NEIGHBORING CORP. PRE-HEATED ALUM. WITH VENT THROUGH ROOF

TYPICAL EXTERIOR WALL CONSTRUCTION: INSULATED METAL PANELS BY STEEL BUILDING FABRICATOR DOWN TO 3/4" TO MET. JOINT EDGE. 3/4" x 1/8" MIN. REINFORCING EVERY 10" HORIZONTALLY AND 4" VERT. - OTHER EXTERIOR HEATER MOUNTAIN BARRIER OVER 1/2" EXTERIOR WALL SHEATHING. 2x6 BIRD STRIPS @ 16" O.C. IN 14'-0" ROOF DECK TO EDGE. THERMO-GLASS BATT INSULATION. 1/2" TYPE 'X' GYPSUM HALFBOND. FULL HEIGHT TO TOP OF ROOFLINE OR ROOF.

PRE-FABRICATED STEEL FRAME  
 2x6 TREATED SILL PLATE  
 12" SLAB INSULATION MATERIAL  
 6" REINFORCED CONCRETE SLAB ON GRADE (TYP.)

1/2" MIN. WALL FLASHING WITH REEF. RALES @ 24" O.C.  
 ALUMINUM DOWNSPUT  
 GRADE  
 1/2" VAPORS  
 SPLASH BLOCK

2" x 6" CORR. RISE FORMER INSULATION TYPICAL  
 REINFORCED CONCRETE FOOTING SEE DETAIL FOR CORNER



# Cleveland City Planning Commission

## Staff Report

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

## Central Southeast Design Review Case Detail Report

### Project Information

**Central Southeast CASE # CSE 2024-012**

Project Name: **Super One Convenience Store**

Address: **4475 Lee Rd**

Contact: **Warren Richardson**

Company: **Urbane Design Studio**

Owner/Rep: **Warren Richardson**

Architect/Contractor:

Phone:

Email: **urbanedesignstudio@att.net**

General Description:  
**New Convenience Store**

Notes:

### ACTIONS/APPROVALS/DISAPPROVALS

<b>Action (Not Final)</b>	
Action Date:	March 19, 2024
Committee:	Staff
Action Type:	Initial Plan Submission
Notes:	
<b>Action (Final)</b>	
Action Date:	March 26, 2024
Committee:	Local Design Review Committee
Action Type:	Conceptual Approval

# Cleveland City Planning Commission

## Mandatory Referrals

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025



**Ord. No. 40-2025 (introduced by Council Members Starr, Bishop, Hairston, and Griffin – by departmental request) Authorizing the Directors of Public Works and Economic Development to enter into a ground lease with Rust Belt Riders Composting, LLC for the use and occupancy of property located at 3270 East 79<sup>th</sup> Street to consolidate its composting facility operations and to install a retail operation at the location, for a period of ten years with two ten-year options to renew, exercisable by the Directors of Public Works and Economic Development.**

---

Jan 17, 2025

FEED PEOPLE, NOT LANDFILLS

# RUST BELT RIDERS

An inconvenient story of food waste

# Project Drawdown

**PAUL HAWKEN**

The Most comprehensive plan ever  
proposed to reverse global warming.

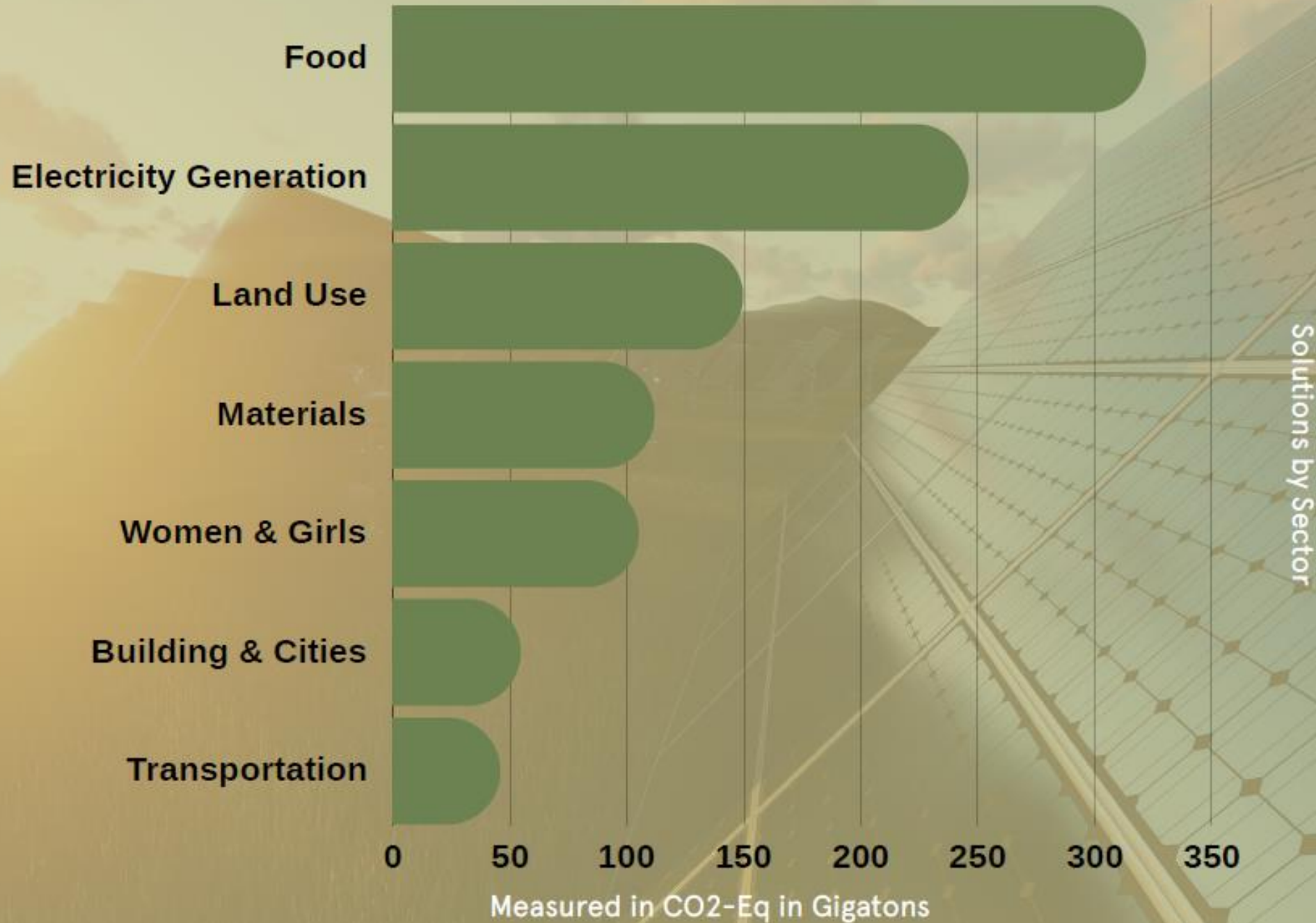
NEW YORK TIMES BESTSELLER

# DRAWDOWN

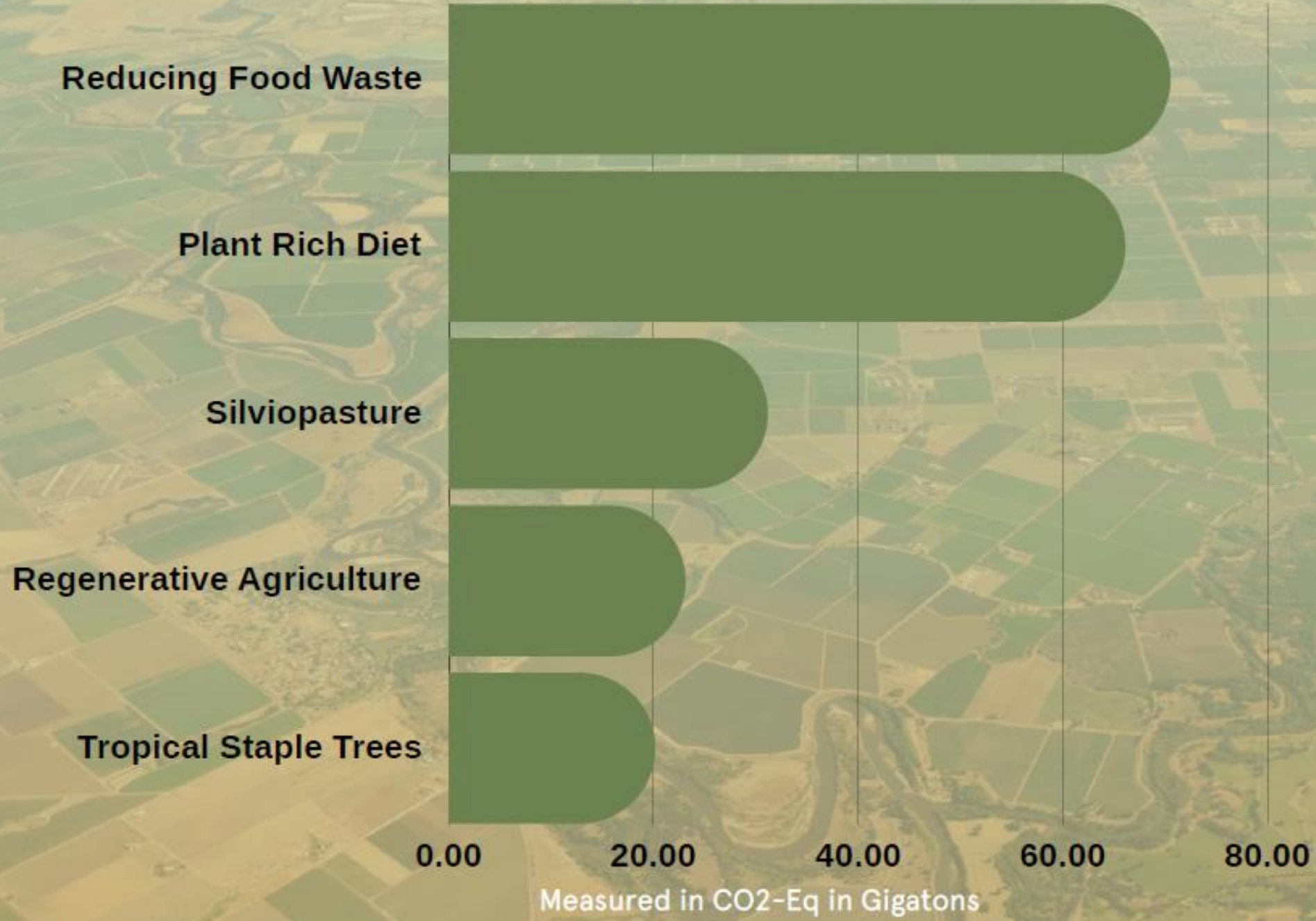
THE MOST COMPREHENSIVE  
PLAN EVER PROPOSED TO  
REVERSE GLOBAL WARMING  
EDITED BY PAUL HAWKEN







Solutions by Tactic







**40%**

OF ALL FOOD IN THE U.S.  
IS WASTED

---

**#1**

THE SINGLE LARGEST  
COMPONENT OF OUR  
NATIONS LANDFILLS



# Who wastes all of this?



Households

43%



Businesses

40%



Farms

16%



Customized solutions for any organization type.





RUST BELT RIDERS  
COMMUNITY SUPPORTED COMPOSTING PROGRAM

# DROP-OFF

CONVENIENT COMMUNITY ACCESS

- \$12 PER MONTH
- 24/7 ACCESS TO CONVENIENT DROP-OFF LOCATIONS
- DISCOUNTS ON ALL TILTH SOIL PRODUCTS
- ACCESS TO WORKSHOPS + PERKS





RUST BELT RIDERS  
COMMUNITY SUPPORTED COMPOSTING PROGRAM

# DROP-OFF

CONVENIENT COMMUNITY ACCESS - 35 LOCATIONS AND GROWING



RUST BELT RIDERS  
COMMUNITY SUPPORTED COMPOSTING PROGRAM

# 15-MIN CITY

CONVENIENT COMMUNITY ACCESS

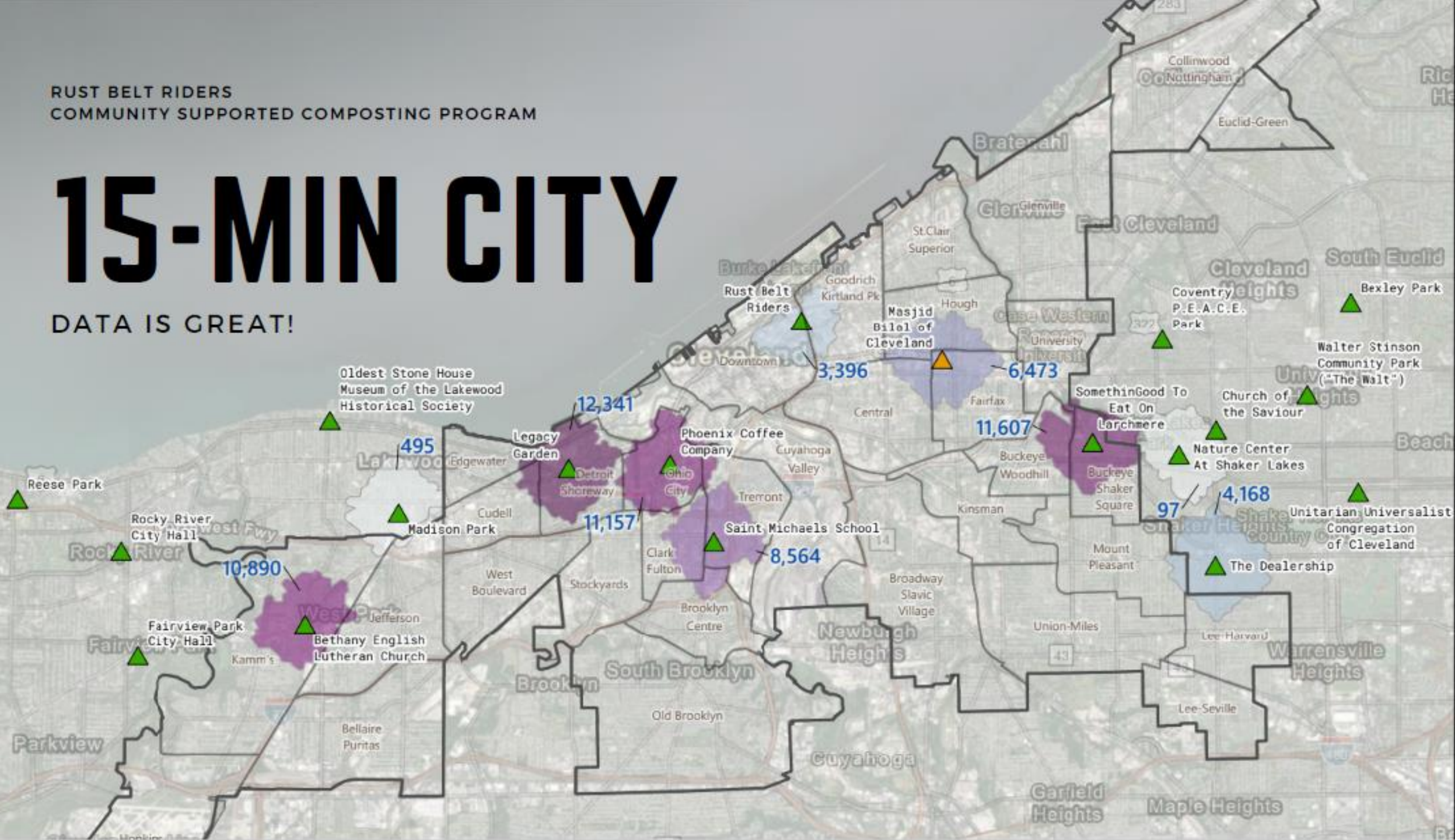




RUST BELT RIDERS  
COMMUNITY SUPPORTED COMPOSTING PROGRAM

# 15-MIN CITY

DATA IS GREAT!





# tilth.



made from  
food scraps



made in  
Cleveland



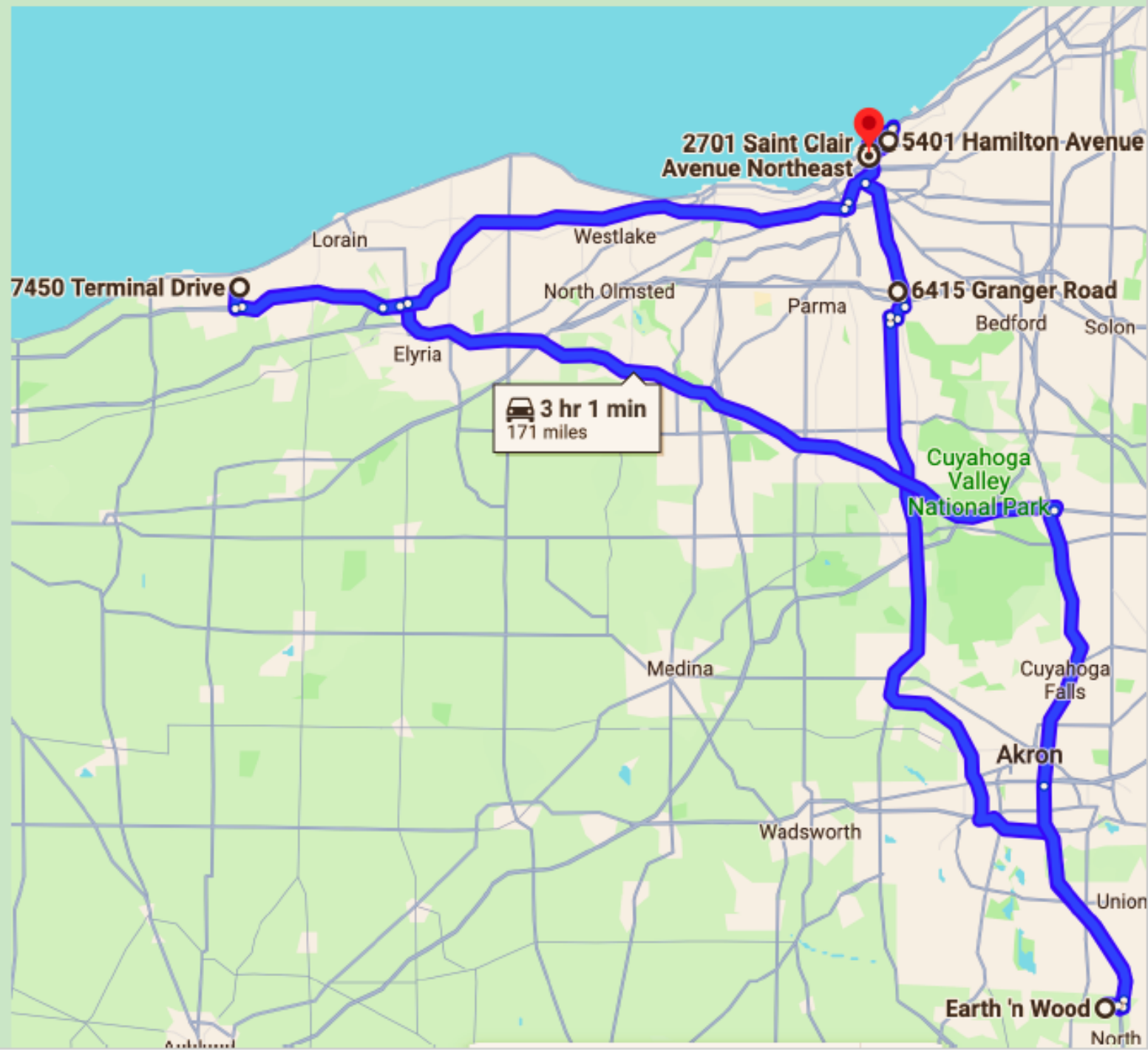
made by  
Rust Belt Riders



# WASTEFUL

(AND VERY EXPENSIVE)

- **\$19/TON**
  - TO DROP MATERIAL IN INDEPENDENCE
- **\$335/TRIP**
  - TO TRANSPORT MATERIAL FROM INDEPENDENCE TO N. CANTON
- **\$512/TRIP**
  - TO TRANSPORT FINISHED COMPOST FROM N. CANTON TO LORAIN.
- **\$50/YARD**
  - THE COST TO CURRENTLY PRODUCE A CUBIC YARD OF COMPOST





# tilth.



2023 Site



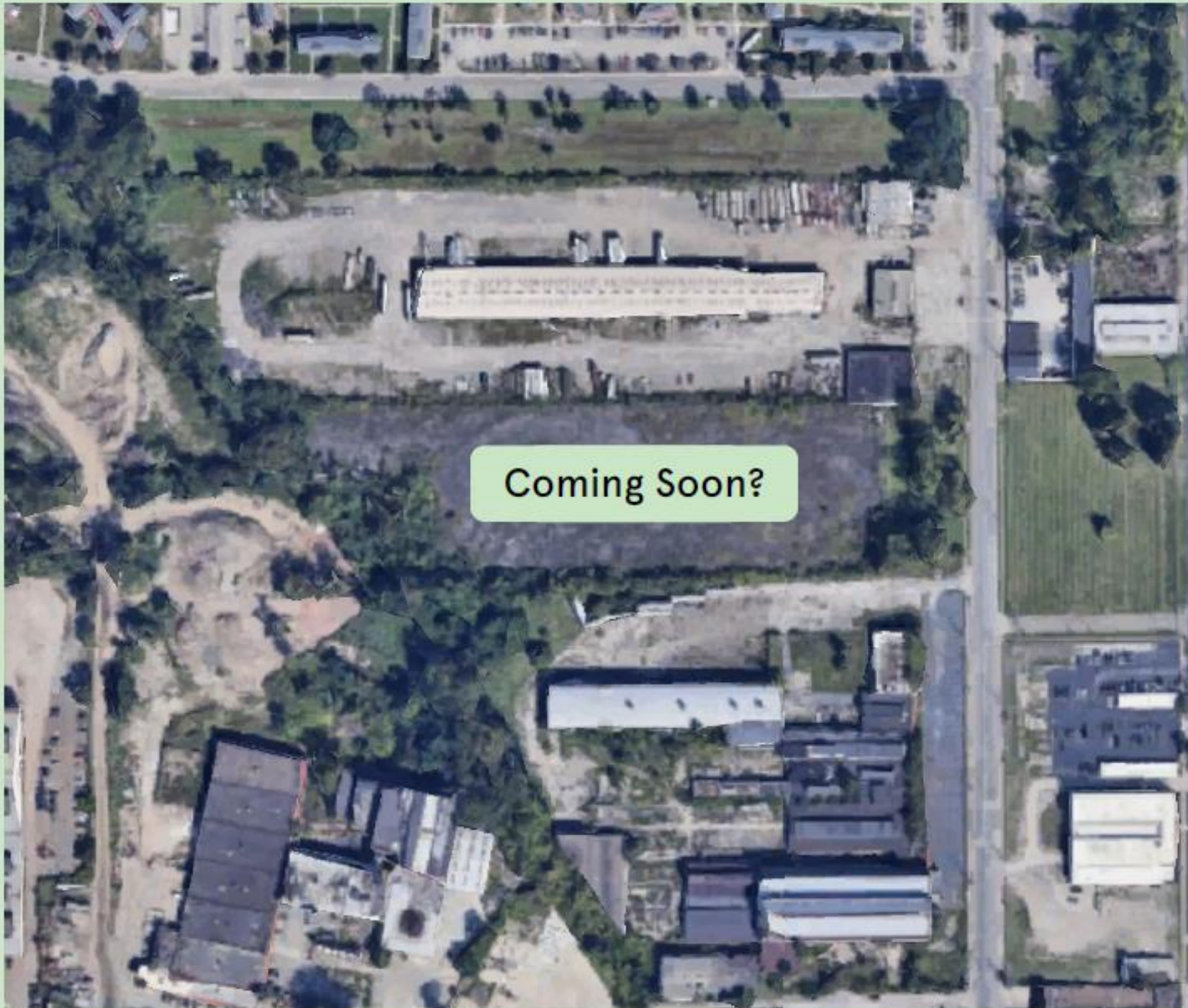
made from  
food scraps



made in  
Cleveland



made by  
Rust Belt Riders



Coming Soon?



# ASSETS TO WORK

## BUILDING ON HISTORY

- **FORMER PUBLIC WORKS FACILITY**
  - SITE HAS BEEN VACANT FOR UPWARDS OF 30 YEARS.
  - FORMER TRANSFER STATION.
- **PROXIMITY TO ELDERS**
  - LESS THAN ONE MILE AWAY FROM RID-ALL AND THE URBAN AGRICULTURE INNOVATION ZONE.
  - STRENGTHEN PARTNERSHIPS
- **POSITIONED FOR GROWTH**
  - ZONED LIGHT-INDUSTRIAL.
  - MEETS SET BACK REQUIREMENTS FOR CLASS II FACILITY.

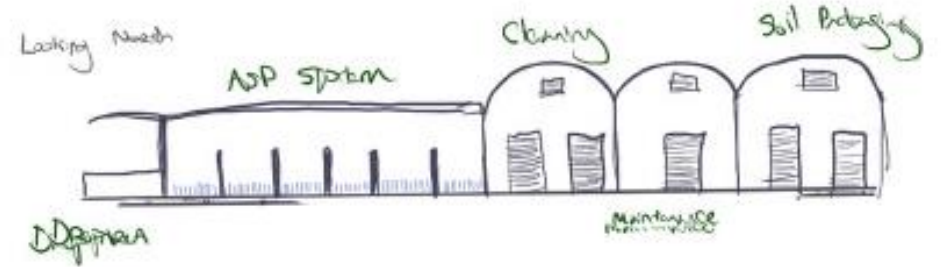




# tilth.







**tilth.**



# tilth.



# tilth.







# tilth.

## HIGHLIGHTS

- 2018: University of Kentucky names “Sprout” one of the best organic seed starting mixes in the U.S.
- 2019: Best Small Scale Composter in the US by US Composting Council.
- 2022: Nathan Rutz appointed to Ohio Organics Council
- 2023: Nathan Rutz becomes second person in Ohio to complete Compost Facility Operators Training program.
- 2024: Tilth Soil becomes RBR’s largest source of revenue.





## ADVANCING THE CIRCULAR ECONOMY

Feed People, Not Landfills

[www.RustBeltRiders.com](http://www.RustBeltRiders.com)

[@RustBeltRiders](https://www.instagram.com/RustBeltRiders)

[info@RustBeltRiders.com](mailto:info@RustBeltRiders.com)

[www.TilthSoil.com](http://www.TilthSoil.com)

[@Tilth.Soil](https://www.instagram.com/Tilth.Soil)

[info@TilthSoil.com](mailto:info@TilthSoil.com)

**Ord. No. 42-2025 (introduced by Council Members McCormack, Conwell, Hairston, and Griffin – by departmental request) Authorizing the Director of Public Health to transfer property located at 4242 Lorain Avenue to the control, possession, and use of the Department of Community Development or Economic Development; authorizing the sale or lease of the property to Pennrose Holdings, or its designee, for future redevelopment; and authorizing the Directors of Public Health, Community Development, and Economic Development and Pennrose Holdings to enter into a development agreement relating to this ordinance.**

---

Jan 17, 2025

# Lorain Avenue Affordable Housing Development: Transfer Legislation

*Cleveland Planning Commission | January 17, 2025*



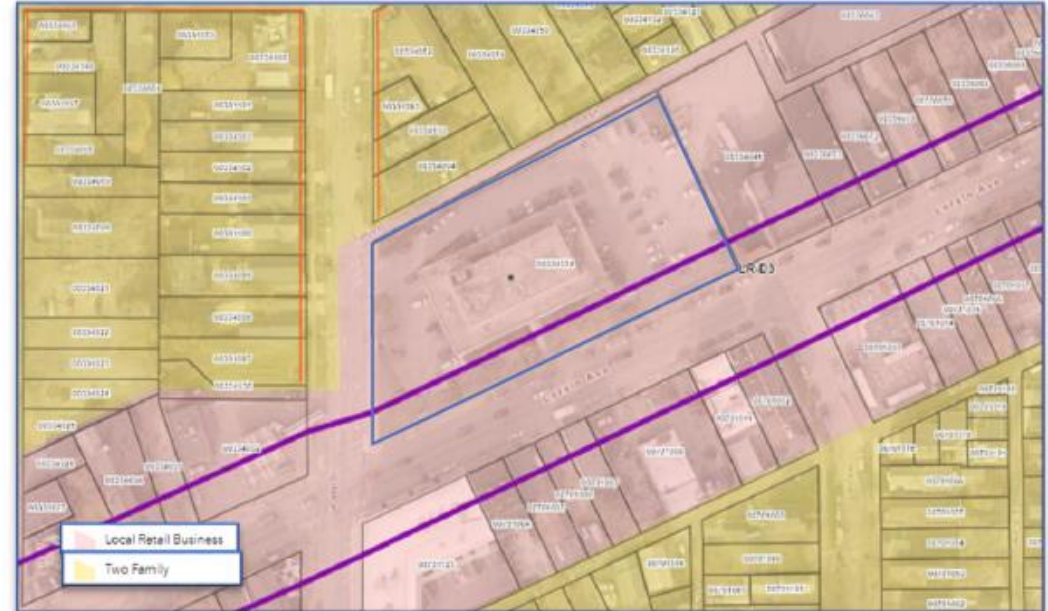


# Site Information

## Former McCafferty Health Center

4242 Lorain Avenue | Ohio City | Ward 3

Approx. 1.3 Acres | Historic Ohio City Design Review Region



# Site Information

## Proximity to Downtown

~2 miles from downtown



## Asset Map





# Request for Qualifications Scope

## Affordable Housing & Ground Floor Social Service Uses

- **AFFORDABLE HOUSING.** A non-negotiable use of this site will be affordable housing. This growing need in the Ohio City neighborhood has been articulated through the Councilman's vision, [Ohio City's Strategic Plan](#) and the Cleveland 2030 Equity Housing Plan. Team(s) will be responsible for reviewing these plans to guide their vision for the site.
- **NON-PROFIT/SOCIAL SERVICE SPACE.** Team(s) must designate ground floor space for nonprofit or social services that support neighborhood residents. Services offered should prioritize low-income individuals and families.
- **PUBLIC AMENITY SPACE.** Team(s) will be responsible for designing, constructing and maintaining an amenity space that provides opportunities for the public to gather. The amenity space should be collaboratively designed with input from residents.
- **ENGAGEMENT & COMMUNITY COLLABORATION.** Team(s) must address community priorities articulated through the Community Values Survey and additional, past engagement completed by Ohio City Inc. and Councilman McCormack. Teams will be responsible for developing and delivering a comprehensive community and stakeholder engagement process throughout the design and development phases to inform the final proposed project(s).
- **CSB/MBE/FBE PARTICIPATION.** The City of Cleveland is firmly committed to assisting Minority Business Enterprises (MBEs), Female Business Enterprises (FBEs), and Cleveland-area Small Businesses (CSBs) by providing and enhancing economic opportunities in City contracts. The successful Team(s) for this RFQ will share that commitment.
- **Development Teams will be required to enter into a Community Benefits Agreement. Other City Design Requirements & Regulations Apply.**

**RFQ Schedule:**

**RFQ Released:**  
August 29, 2024

**Virtual Information Session:**  
September 6, 2024 11PM  
([RSVP](#))

**Questions Due:**  
September 11, 2024

**RFQ Submissions Due:**  
October 1, 2024

**Short List Notifications:**  
October 16, 2024

**Final Selection:**  
November 1, 2024

**CONTACT**  
[landdevelopment@clevelandohio.gov](mailto:landdevelopment@clevelandohio.gov)

**REQUEST FOR QUALIFICATIONS**

**Lorain Avenue Affordable Housing  
Redevelopment Opportunity**

1.3 Acres of Land Available for Redevelopment  
4242 Lorain Avenue  
Cleveland, Ohio 44113



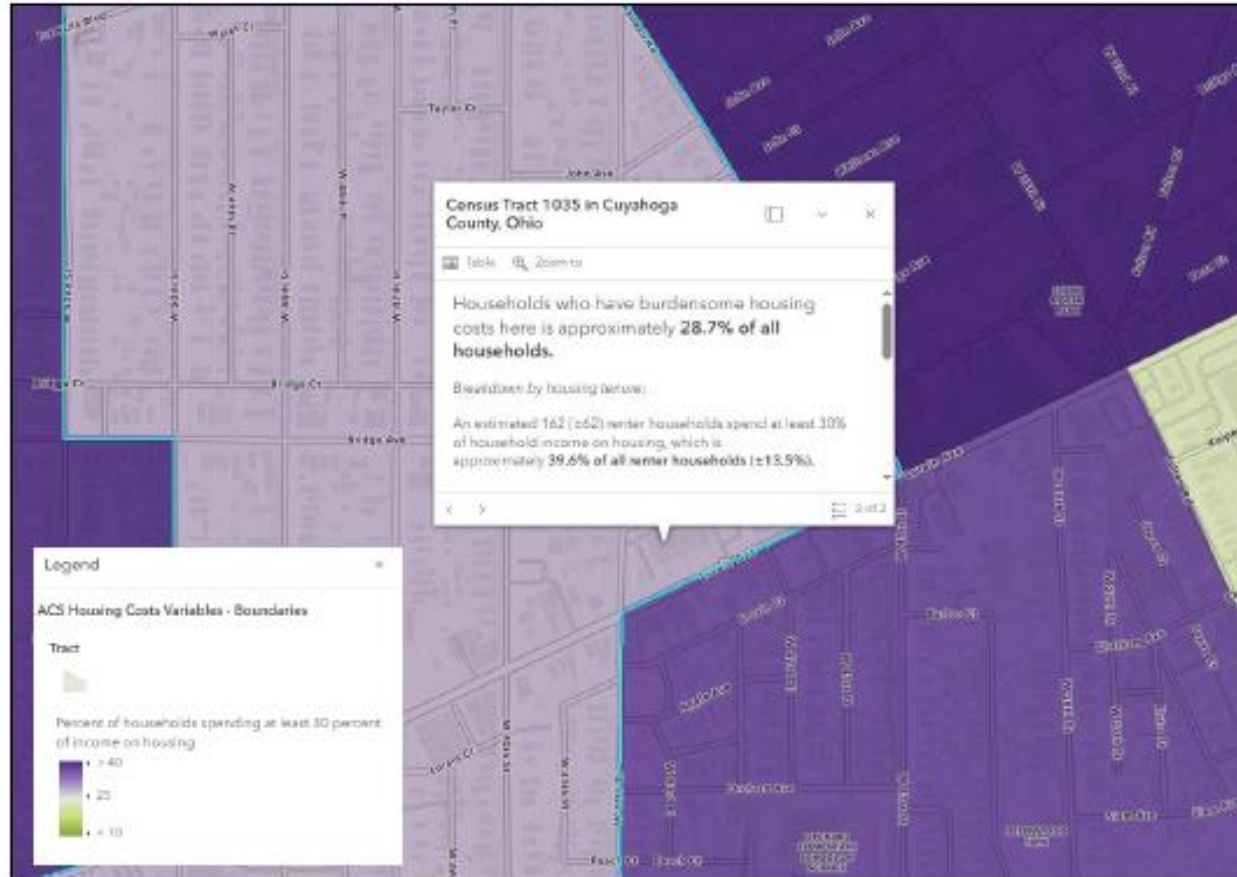
FOR RELEASE August 29, 2024





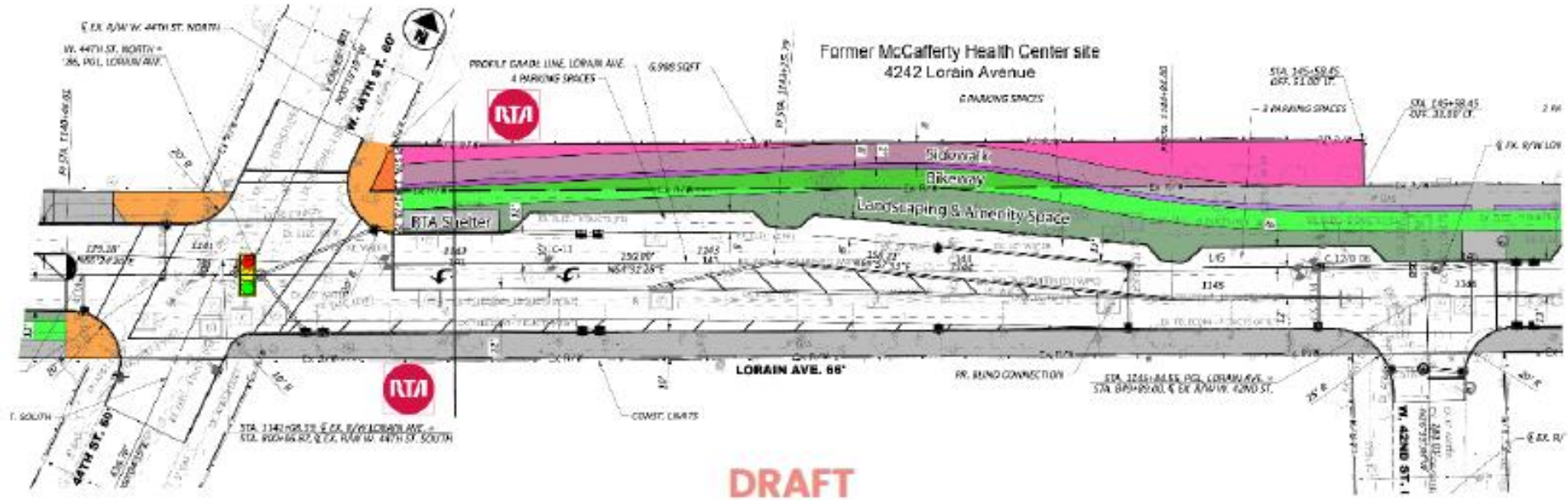
# The Need for Affordable Housing

## Recognizing Housing Cost Burden



# Site Information

## Lorain Midway: Proposed Public ROW Adjustment



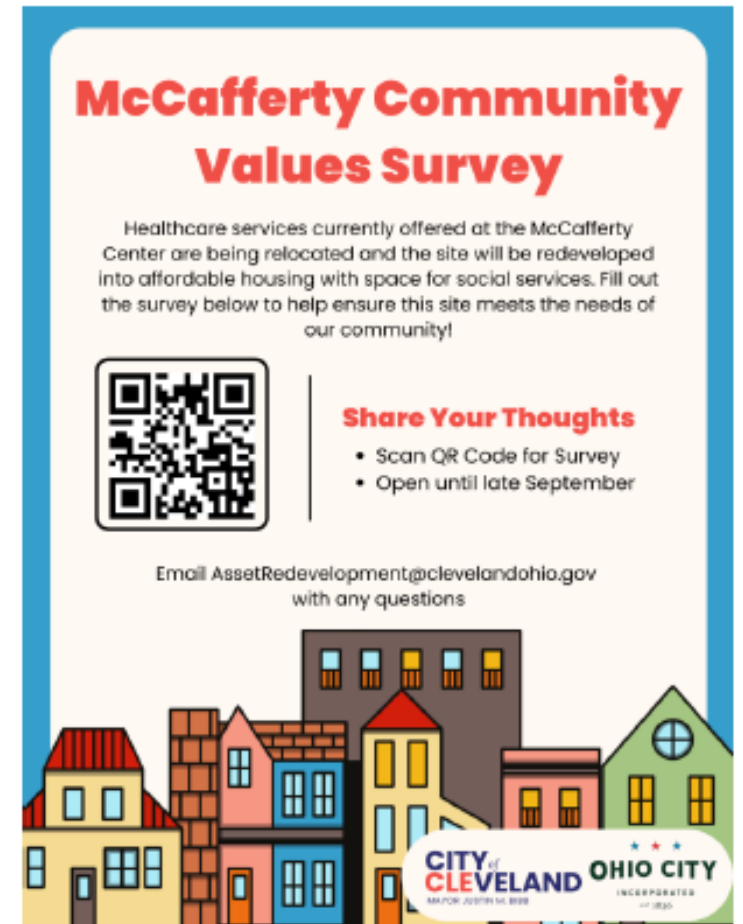
# Community Values Survey + Ohio City, Inc. Partnership

## Content

- Community Values
- Gaps in Services & Amenities
- Values --> Investment
- Barriers to Accessing Affordable Housing
- Important Amenities in Affordable Housing
- Who Needs Affordable Housing?
- Amenities that Encourage Safety
- Inclusivity & Community Health
- Demographics

## Distribution

- [Co.Urbanize](#)
- Flyers & Postcards
  - Lorain Avenue Businesses
  - Spanish American Committee
  - May Dugan
  - West Side Catholic Center
  - Young Latino Network





# Awarded Proposal

## Lorain Ave Affordable Housing Development

- Development Team
  - Pennrose, LLC: Lead Developer, Co-Owner
  - Ohio City Incorporated (OCI): Co-Developer, Co-Owner
- Pursuing Low-Income Housing Tax Credits (LIHTC) funding through OHFA's 9% Tax Credit Program
- 72-unit senior building with rents between 30% - 70% AMI, Mixed-Use Development with ground floor office space for non-profit use
- Emphasis on environmental sustainability to reduce utility costs, TOD, programmed community spaces
- Design Team: City Architecture, John G. Johnson Construction, Innova Services Co.
- Managed By: Pennrose Management Company
- Transfer Legislation required for OHFA's 9% LIHTC Application
- Project will go before Landmarks for all Design Review approvals



## Tentative Project Timeline:

- February 2025:
  - Site Control Secured
  - 9% LIHTC Application submitted to Ohio Housing Finance Agency (OHFA)
- May 2025: OHFA Announces 9% Awards
- June 2025-January 2026:
  - Design moves from Conceptual to Schematic
  - Design Review Approval
  - Additional Financing Secured/Equity LOI Executed
  - Construction Plans Completed
  - Building Permit Submission/Approval
- February 2026: Financial Closing & Site Transfer or Ground Lease
- June 2027: Construction Complete
- December 2027: 100% Occupied





# Legislation to enable Transfer of City-Owned Site at 4242 Lorain Avenue for the Purposes of Developing Affordable Housing





**Ord. No. 44-2025 (introduced by Council Members Bishop and Hairston – by departmental request) Upon vacation of old West Boulevard, to revoke the existing encroachment permit to the Tamir Rice Foundation for the Tamir Rice Memorial; authorizing the Mayor and the Commissioner of Purchases and Supplies to execute a deed of easement over the revoked encroachment permit property granting to the Tamir Rice Foundation certain easement rights to improve and maintain the Tamir Rice Memorial; granting easements to utility providers for any existing facility through or under the right-of-way of vacated old West Boulevard; and declaring that the easement rights granted are not needed for the City’s public use.**

---

Jan 17, 2025



CITY OF CLEVELAND  
Mayor Justin M. Bibb

Ordinance No. 44-2025

# New Permanent Easement Tamir Rice Memorial at Cudell Commons

---

*January 17, 2025*



# Tamir Rice Memorial Historic Context

## December 9, 2020 – Ordinance No. 883-2020

- City Council authorized an Encroachment Permit (red line) to the Tamir Rice Foundation to encroach into the right-of-way of the old West Boulevard between Detroit Avenue and Madison Avenue within Cudell Commons to create the Tamir Rice Memorial





# Tamir Rice Memorial Historic Context

## June 7, 2021 – Ordinance No. 247-2021

- City Council authorized a Permanent Easement (red line) to the Tamir Rice Foundation for a portion of Permanent Parcel No. 001-29-084 (formerly Parcel No. 001-29-081).



# Tamir Rice Memorial Historic Context

Collectively, the Encroachment Permit Area & Permanent Easement Area comprise the Tamir Rice Memorial (red line).



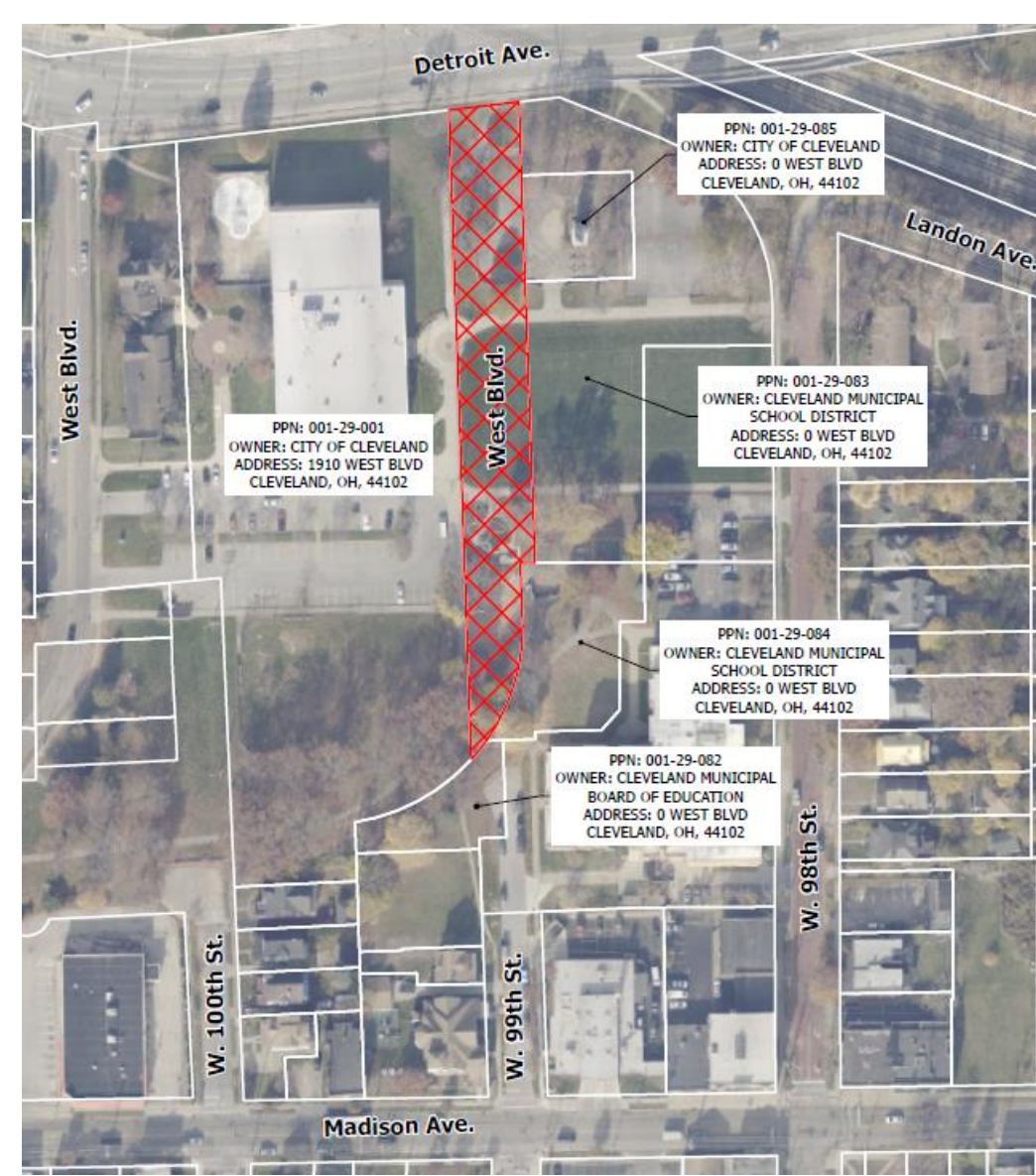


# Old West Boulevard Right-of-Way Vacation (Resolution 1354-2024)

**December 2, 2024 – City Council Read and Referred to Administrative Review**

**January 14, 2025 – Approved by City Council**

- At the request of the Tamir Rice Foundation, the City’s intent is to vacate the old West Boulevard right-of-way in order to provide easement rights to the Tamir Rice Memorial to remain in Cudell Commons in perpetuity.





# Ordinance No. 44-2025

## January 6, 2025 – City Council Read and Referred to Administrative Review

## January 17, 2025 – Planning Commission Review

- Upon vacation of the old West Boulevard right-of-way, Ordinance No. 44-2025 would revoke the Encroachment Permit authorized by Ordinance No. 883-2020 and replace it with a Permanent Easement to the Tamir Rice Foundation (yellow shading); and
- Utility providers would be granted an easement for any existing facility located in the vacated right-of-way



# QUESTIONS?



Tamir Rice Memorial - Photo by Diane Jones Allen, 2022 from The Cultural Landscape Foundation at [www.tclf.org/tamir-rice-memorial](http://www.tclf.org/tamir-rice-memorial)



Jan 17, 2025

**Ord. No. 95-2025 (introduced by Council Members McCormack, Hairston, and Griffin – by departmental request) Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire an re-convey properties presently owned by TDG Franklin North LLC, and/or its designee, located at 3210 Franklin Boulevard, Cleveland, OH 44113 for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Franklin Yards North Project.**

---



Jan 17, 2025

**Ord. No. 96-2025 (introduced by Council Members McCormack, Hairston, and Griffin – by departmental request) Authorizing the Mayor and the Commissioner of Purchases and Supplies to acquire and re-convey properties presently owned by TDG Franklin Realty, LLC, and/or its designee, located at 3105 Franklin Boulevard, Cleveland, OH 44113 for the purpose of entering into the chain-of-title prior to the adoption of tax increment financing legislation authorized under Section 5709.41 of the Revised Code for the Franklin Yards South Project.**

---



An aerial photograph of the Cleveland skyline, featuring the Terminal Tower and other skyscrapers. The city logo is overlaid in the center, consisting of the text 'City of CLEVELAND' in white, with a red and white compass rose graphic replacing the letter 'A'. Below this, the text 'ECONOMIC DEVELOPMENT' is written in white capital letters.

City of  
**CLEVELAND**  
ECONOMIC DEVELOPMENT

City Planning Commission:  
Franklin Yards TIF  
January 17, 2025



# DEVELOPER BACKGROUND

---

- Two special purpose entities formed to develop and hold Franklin Yards: TDG Franklin Realty LLC and TDG Franklin North LLC.
- Partnership of Dalad Group and Property Advisors Group, both based out of Northeast Ohio.
- Project team led by Mr. Neil Viny and Mr. Richard Nosan.
- High Pointe Commerce Park, Worthington Yards, and the 2320 Lofts are examples of developments in Greater Cleveland completed by members of the project team.





# PROPERTY BACKGROUND

---

- PPNs: 003-32-01, 003-31-004, 003-31-063, and 003-26-132
- Total acreage: 1.55
- 2F-B1: Two-family residential zoning.
- Property South of Franklin contains structures with historical uses including as a YWCA branch and housing. Structures vacant for no less than 5 years.
- Property North of Franklin is utilized for a surface parking lot and has served as such for over 20 years.
- Surrounding neighborhood primarily characterized by public greenspace and amenities, housing of varying intensities, and local commercial activity.

# STRUCTURES TO BECOME RESIDENCES



Former YWCA Structures

Former Residential Mansion



# “RED BARN” TO BECOME COMMERCIAL





# PROJECT SUMMARY

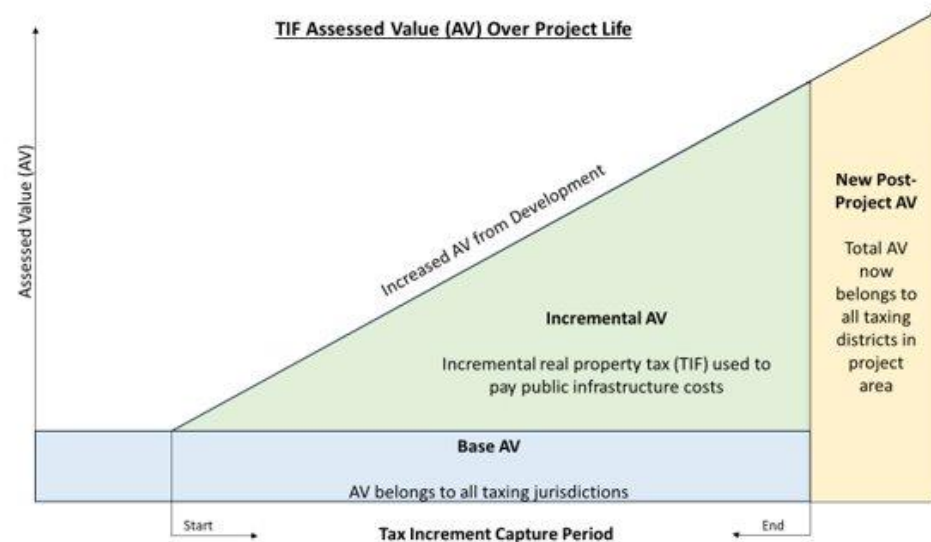
---

- Redevelopment of the existing structures on the South site into 38 market rate residential apartments.
- Development of a new multi-story apartment building comprising 29 market-rate units.
- Potential redevelopment of “red barn” structure for commercial end-user, such as a café.
- 67 total new residential units. Unit mix includes 1- and 2-bedroom units.
- Creation of 3 new jobs, \$80,000 of annual payroll through the management of the new residential community.



# TAX INCREMENT FINANCING (TIF) BASICS

- Project TIF (ORC 5709.41)
- Value generated from the appreciation that occurs on the project site can be used for public and private improvements, including to finance the development project itself.
- Taxes continue to be paid to regular taxing entities at the same amount as when the TIF is put in place – TIF is only on property taxes from the increased value to the property
- For both types of TIFs, there is only TIF revenue generated if property values increase, and only that increase is what is applied to the improvements.



# FRANKLIN YARDS TIF

---

- Provides 100% non-school TIF over a 30-year period.
  - Median annual TIF value to Developer in years 16-30: \$130,424.
  - Estimated value of 30-year TIF at \$1,966,331.
  - CMSD to benefit from \$3,699,727 in total new income over the course of the TIF.
  - Creation of 3 jobs providing approximately \$2,500 in new annual income tax.

**ESTIMATED NET INCREASE OF ~~+\$3,774,727~~ IN TAX REVENUE AND PAYMENTS IN LEIU OF TAXES TO CMSD OVER 30 YEARS.**



# SUMMARY OF COMMUNITY BENEFITS

---

- **Minority, Female, and Small Business Participation:** The Developer commits to supporting local and historically underserved business entities through construction and post-project hiring, with a planned spend of **\$2,865,630 on MBE, \$1,337,294 on FBE, and \$1,528,336 on CSB participation.**
- **Mentor-Protégé Program Participation:** The Developer will identify **3 MBE/FBE firms to mentor on capacity-building to compete for and perform on large scale construction projects.**
- **Workforce Utilization Goals:** The Developer will aim to meet workforce goals, including **20% City of Cleveland residents and 4% low-income individuals employed during the construction phase.**
- **Job Skill Development Opportunities:** The Developer will provide job skill development opportunities for Cleveland residents, aiming for **at least two paid internships, and three apprenticeships for Cleveland residents.**
- **Community Engagement:** The Developer will **meet with community stakeholders no less than 3 times** to gain input on the development project.

# Cleveland City Planning Commission

## Administrative Approvals

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

Jan 17, 2025

**Ord. No. 45–2025 (introduced by Council Members Bishop, Hairston, and Griffin – by departmental request) To supplement Ordinance No. 746–2024, passed August 7, 2024, relating to the Bedrock .41 TIF District by adding three new whereas clauses and Sections 9a, 9b, 9c, 9d, 9e, and 9f; to repeal Section 9 and to amend Section 10, relating to authorizing the Director of Economic Development to enter into a tax increment financing agreement and the Director of Capital Projects to enter into one or more construction–management agreements with Cleveland LD, LLC for various public improvements; and authorizing other agreements and documents.**

---



# Cleveland City Planning Commission

## Director's Report

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025

# Cleveland City Planning Commission

## Adjournment

---



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Jan 17, 2025